

**AVISON
YOUNG**

For Lease

**153 West 7th Avenue
Vancouver, BC**



Opportunity to lease prime industrial space in Mount Pleasant

Ian Whitchelo*, Principal
604 647 5095
ian.whitchelo@avisonyoung.com
**Ian Whitchelo Personal Real Estate Corporation*

Terry Thies*, Principal
604 646 8398
terry.thies@avisonyoung.com
**Terry Thies Personal Real Estate Corp.*

Rory Thies, Sales Assistant
604 243 9591
rory.thies@avisonyoung.com

Bright warehouse space for lease

153 West 7th Avenue
Vancouver, BC



Property details

MUNICIPAL ADDRESS
153 West 7th Avenue, Vancouver, BC

RENTABLE AREA
2,427 square feet

ZONING
I-1 zoning allowing for a wide range of uses including warehousing, clean distribution, research & development, information technology manufacturing and studio space

ASKING BASIC RENT
Contact listing agents

ADDITIONAL RENT
\$13.93 per square foot per annum (2025 estimate)








PARKING
Up to two (2) stalls available at \$150 per stall per month plus applicable taxes

AVAILABILITY
January 1, 2026

Opportunity

Avison Young is proud to present the opportunity to lease an industrial unit in Mount Pleasant. This clean open warehouse space features dock level loading and painted white walls and ceiling. This is an ideal opportunity for users to lease a space for light industrial uses in a vibrant neighbourhood, just minutes from downtown Vancouver.

Highlights

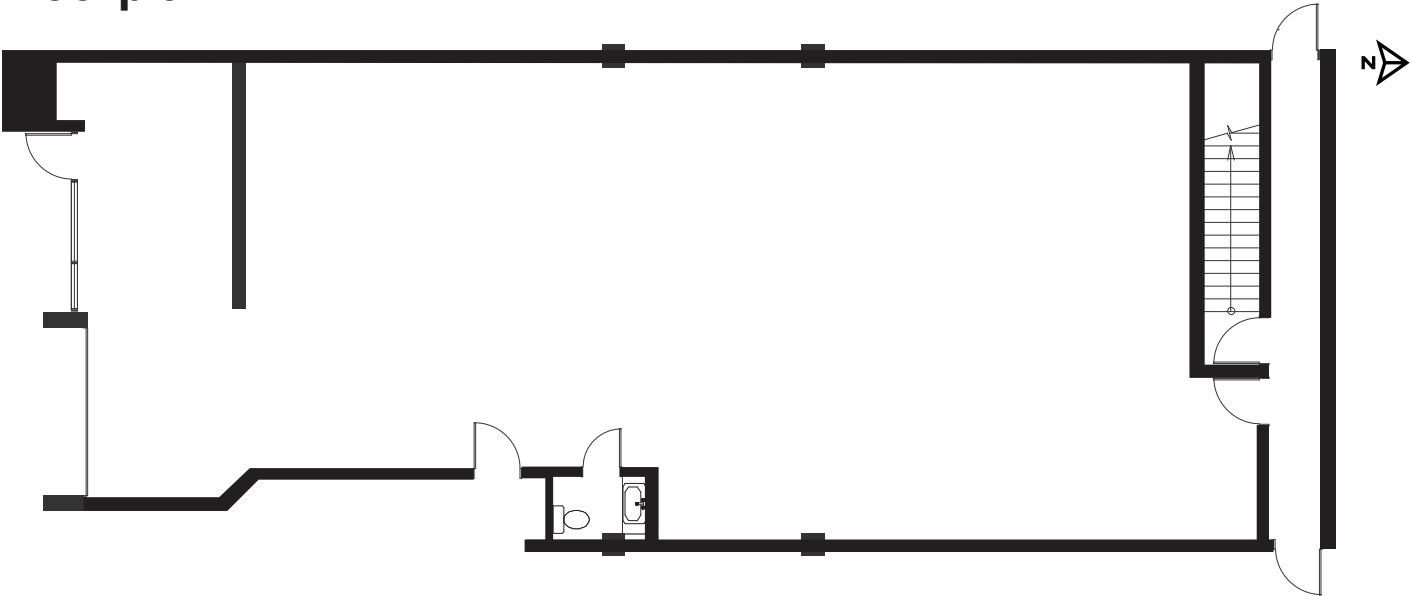
-  Highly desirable Mount Pleasant location across from Jonathan Rogers Park
-  Recently renovated unit featuring upgrades to HVAC units, loading door, etc.
-  Large, open floor plan
-  16’ ceiling heights
-  Dock loading
-  HVAC throughout
-  3 phase power

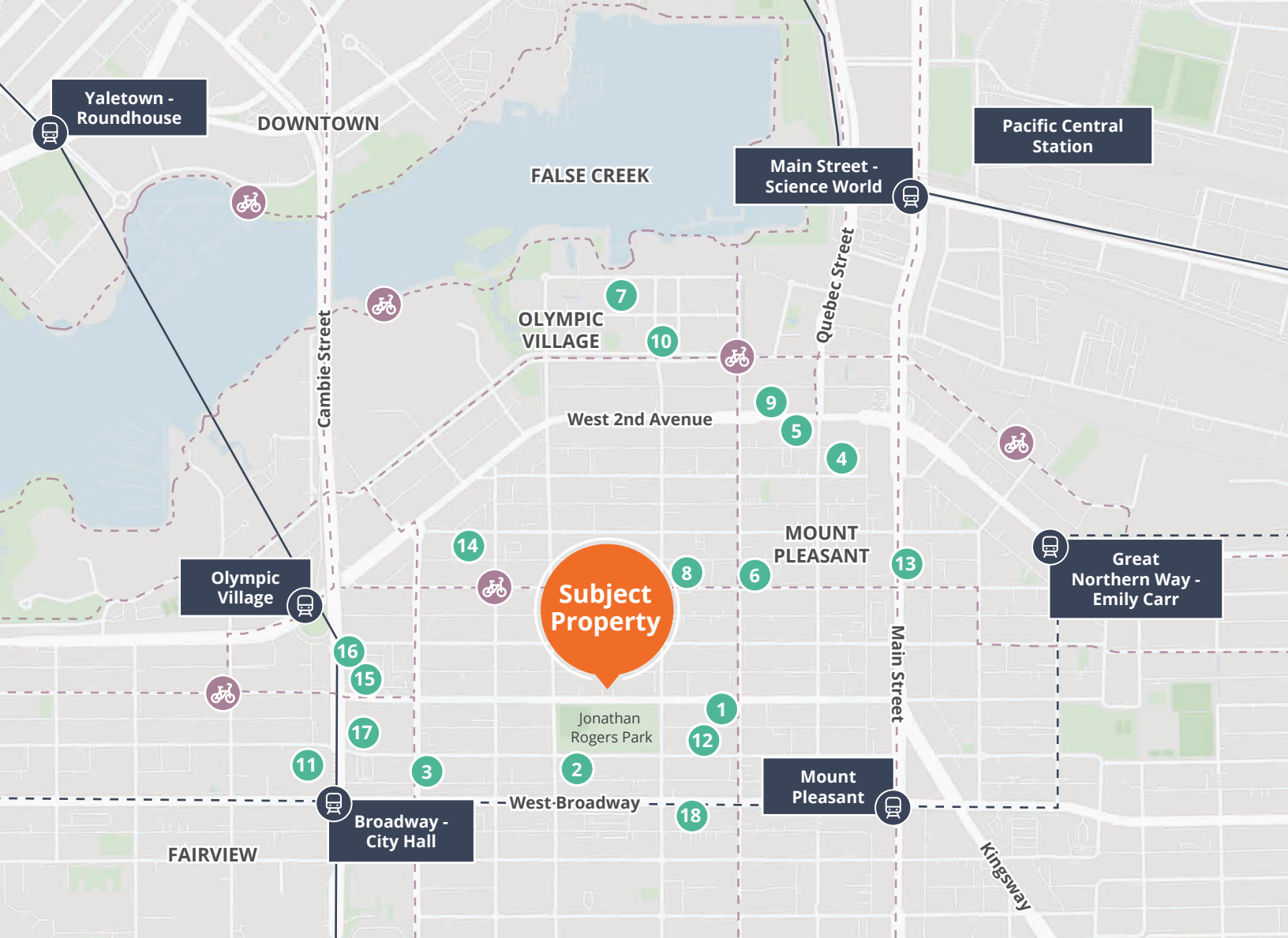
Location

The property is conveniently located in the heart of Mount Pleasant on the north side of West 7th Avenue across from Jonathan Rogers Park. The property is situated close to a number of public transit options while also being highly accessible by bike. The neighborhood offers a wide variety of desirable amenities within walking distance, including restaurants, craft breweries and coffee shops.

- 98 WALKER’S PARADISE**
Daily errands do not require a car
- 92 RIDER’S PARADISE**
World-class public transportation
- 95 BIKER’S PARADISE**
Daily errands can be accomplished on a bike

Floorplan





Nearby amenities

- | | | |
|---------------------------------|------------------------------|----------------------------|
| 1. Elysian Coffee | 7. Terra Breads | 13. Brassneck Brewery |
| 2. Milano Coffee | 8. The Juice Truck | 14. Big Rock Urban Brewery |
| 3. La Taqueria Pinche Taco Shop | 9. Brewhall | 15. Canadian Tire |
| 4. Nuba Cafe | 10. Craft Beer Market | 16. Best Buy |
| 5. Earnest Ice Cream | 11. Whole Foods Market | 17. Home Depot |
| 6. Pure Bread | 12. 33 Acres Brewing Company | 18. Sport Chek |

Contact for more information

Ian Whitchelo*, Principal
 604 647 5095
 ian.whitchelo@avisonyoung.com
**Ian Whitchelo Personal Real Estate Corporation*

Terry Thies*, Principal
 604 646 8398
 terry.thies@avisonyoung.com
**Terry Thies Personal Real Estate Corp.*

Rory Thies, Sales Assistant
 604 243 9591
 rory.thies@avisonyoung.com

#2900-1055 West Georgia Street
 P.O. Box 11109 Royal Centre
 Vancouver, BC V6E 3P3, Canada

avisonyoung.ca

© 2025 Avison Young. All rights reserved. E. & O.E.:
 The information contained herein was obtained from
 sources that we deem reliable and, while thought to be
 correct, is not guaranteed by Avison Young Commercial
 Real Estate Services, LP ("Avison Young").



**AVISON
YOUNG**