

4899 VANGUARD RD UNIT 103



GENERAL NOTES

- ALL WORK TO BE DONE IN ACCORDANCE WITH BCBC 2024. ✓
- GENERAL CONTRACTOR TO CHECK AND VERIFY ALL DIMENSIONS AND ELEVATION DATUMS PRIOR TO STARTING WORK. ANY DISCREPANCIES ARE TO BE REPORTED TO DESIGNER FOR CLARIFICATION.
- ALL CHANGES TO THE WORK NOT IN CONFORMANCE WITH ANY OF THE CONSULTANTS DOCUMENTATION SHALL BE APPROVED BY THE CONSULTANT PRIOR TO THE EXECUTION OF THE WORK. EXECUTION OF CHANGED WORK WITHOUT THE CONSULTANTS CONSENT CONSTITUTES THE GENERAL CONTRACTOR AS RESPONSIBLE FOR ANY ERRORS RESULTING FROM THE WORK.
- GENERAL CONTRACTOR TO MAINTAIN ON SITE A COPY OF APPROVED BUILDING PERMIT DRAWINGS AS WELL AS ISSUED FOR CONSTRUCTION DRAWINGS, POSTINGS, REPORTS FROM THE AUTHORITY HAVING JURISDICTION, CONSULTANT FIELD REPORTS, ADDENDA, SITE INSTRUCTIONS AND CHANGE ORDERS AT ALL TIMES.
- GENERAL CONTRACTOR TO MAINTAIN AN ADDITIONAL SET OF DRAWINGS ON SITE FOR THE RECORD OF ALL CHANGES TO THE WORK TO PRODUCE A RECORD SET OF DRAWINGS 'AS BUILT' AS REQUIRED BY THE SPECIFICATIONS.
- THE ARCHITECTURAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE MECHANICAL/PLUMBING DRAWINGS AND SPECIFICATIONS.
- ALL INTERIOR PARTITIONS ARE DIMENSIONED TO THE CENTERLINE OF THE PARTITION UNLESS DETAILED OTHERWISE ON THE DRAWINGS.
- ALL DOOR AND WINDOWS ARE DIMENSIONED TO THE WINDOW OR DOOR OPENINGS, UNLESS DETAILED OTHERWISE ON THE DRAWINGS. ALL DOORS ABUTTING A WALL OR OTHERWISE NOT DIMENSIONED, ENSURE A MINIMUM CLEAR DIMENSION OF 2 INCHES FROM THE DOOR ROUGH OPENING TO ADJACENT WALL. ALL WINDOW/DOOR OPENINGS ARE TO BE SITE MEASURED PRIOR TO FABRICATION. WINDOW OPENINGS ARE TO BE MEASURED TO FINISH DIMENSIONS.
- DO NOT SCALE DRAWINGS. LARGER SCALE DRAWINGS PRECEDE OVER SMALLER SCALE DRAWINGS.
- SEE ALSO MECHANICAL DRAWINGS FOR FLOOR DRAINS.
- FINISHES
- ALL GYPSUM WALL BOARD TO BE TAPED, FILLED AND SANDED SMOOTH PRIOR TO APPLICATION OF FINISHES.
- WHERE MULTIPLE LAYERS OF GYPSUM WALL BOARD ARE REQUIRED, ALL GYPSUM WALL BOARD JOINTS ARE TO BE STAGGERED TO ADJACENT JOINTING FOR A CONTINUOUS SMOKE SEAL. BOTH LAYERS OF GYPSUM WALL BOARD ARE TO BE TAPED AND FILLED, WITH THE EXPOSED SURFACE SANDED SMOOTH.
- ALL PAINTED SURFACES ARE TO BE PRIMED AND PAINTED WITH 3 COMPLETE COATS OF PAINT.
- PROVIDE WATER RESISTANT BACKER BOARD (DENSARMOUR) IN LIEU OF GYPSUM WALL BOARD AT ALL CERAMIC/PORCELAIN TILE LOCATIONS. ALL JOINTS TAPED AND FILLED, SANDED SMOOTH.
- PROVIDE CONTINUOUS SEALANT AT ALL GYPSUM WALL BOARD JOINTS TO ADJACENT SUBSTRATE FOR SMOKE AND ACOUSTIC SEAL.

BCBC 2024 ANALYSIS		CODE REF
ADDRESS	#103 & #203 4899 VANGUARD RD, RICHMOND BC V6X 0W5	
LEGAL DESCRIPTION	STRATA LOT 3 SECTION 36 BLOCK 5 NORTH RANGE 6 WEST NEW WESTMINSTER DISTRICT STRATA PLAN EPS9209	
USES	PROPOSED USE: OFFICE / WAREHOUSE	
MAJOR OCCUPANCY	GROUP F, DIVISION 2	
FIRE SEPERATION	2 HRS ✓	
BUILDING AREA	APPROX. 45896.21 SQ FT OR 4265.44 SQ M	
SUBJECT UNIT AREA	APPROX. 2334.4 SQ FT OR 216.87 SQ M	
NUMBER OF STREET FACING	2	
NUMBER OF STOREY	3	
SPRINKLERED	YES	
CONSTRUCTION TYPE	NON-COMBUSTIBLE	
CONSTRUCTION REQUIREMENT	<p>base bldg 2hr provided</p> <p>a) floor assemblies shall be fire separations with a fire-resistance rating not less than 1h.</p> <p>b) mezzanines shall have a fire-resistance rating not less than 1 h.</p> <p>c) loadbearing walls, columns and arches shall have a fire-resistance rating not less than that required for the supported assembly</p>	3.2.2.77 GROUP F, DIVISION 2 UP TO 4 STOREYS;
EXITS	REQUIRED 2 EXITS ; PROVIDED 2 EXITS	3.4.2.1
OCCUPANT LOAD	24 - REFER TO OCCUPANT LOAD CALCULATION ✓	3.1.17.1
PLUMBING FACILITIES	BASED ON BCBC TABLE 3.7.2.2 (OL=24) UNISEX ACCESSIBLE: REQUIRED: 2 ; PROVIDED: 3;	3.7.2.2
TRAVEL DISTANCE	MEASURED MAXIMUM = 23.3 m, ALLOWED MAXIMUM = 45 m	3.4.2.5

OCCUPANT LOAD			
SPACE	MAIN FLOOR	SECOND FLOOR	SUBTOTAL
AREA (SF)	948.50	1385.90	
AREA (SQM)	88.11	128.75	
AREA (SQM) / P	9.30	9.30	
CALCULATED OCCUPANT LOAD	10	14	24

office
for warehouse: O/L: 216.86/28=8
washroom: 2 req'd

DRAWING LIST	
A 1	SITE PLAN AND KEY PLAN
A 2	EXISTING FLOOR PLAN
A 3	PROPOSED FLOOR PLAN
A 4	REFLECTED CEILING PLAN
A 5	ELECTRICAL PLAN
A 6	SECTION VIEW AND WASHER ROOM DETAIL

- all construction to comply to 2024 BCBC
- non-combustible construction required
- max flame spread rating: 150 for walls & 25 for ceiling
- provide exit signs & emergency lighting
- provide ventilation to all areas
- disabled accessible required
- plumbing permit required for changes to system
- sprinkler permit required for changes to system

EAST WEST CONNECTOR

City of Richmond Building Approvals
City review of documents stamped:
Permit No.: 24-046484

1. does not relieve the Owner of Lands referred to in this document from full responsibility for working being carried out in compliance with City and Provincial enactments;
 2. is subjected to terms and conditions printed on the permit and prescribed in the City bylaws.

Reviewed by: SC Date: Oct 18/24

City of Richmond. Building Approvals
 All construction, including materials, fixtures/ appliances must be approved and bear the mark of an accredited testing agency in Canada.

1
A 1
SITE PLAN AND KEY PLAN
SCALE: 1/16" = 1'-0"



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 6886661ma@gmail.com

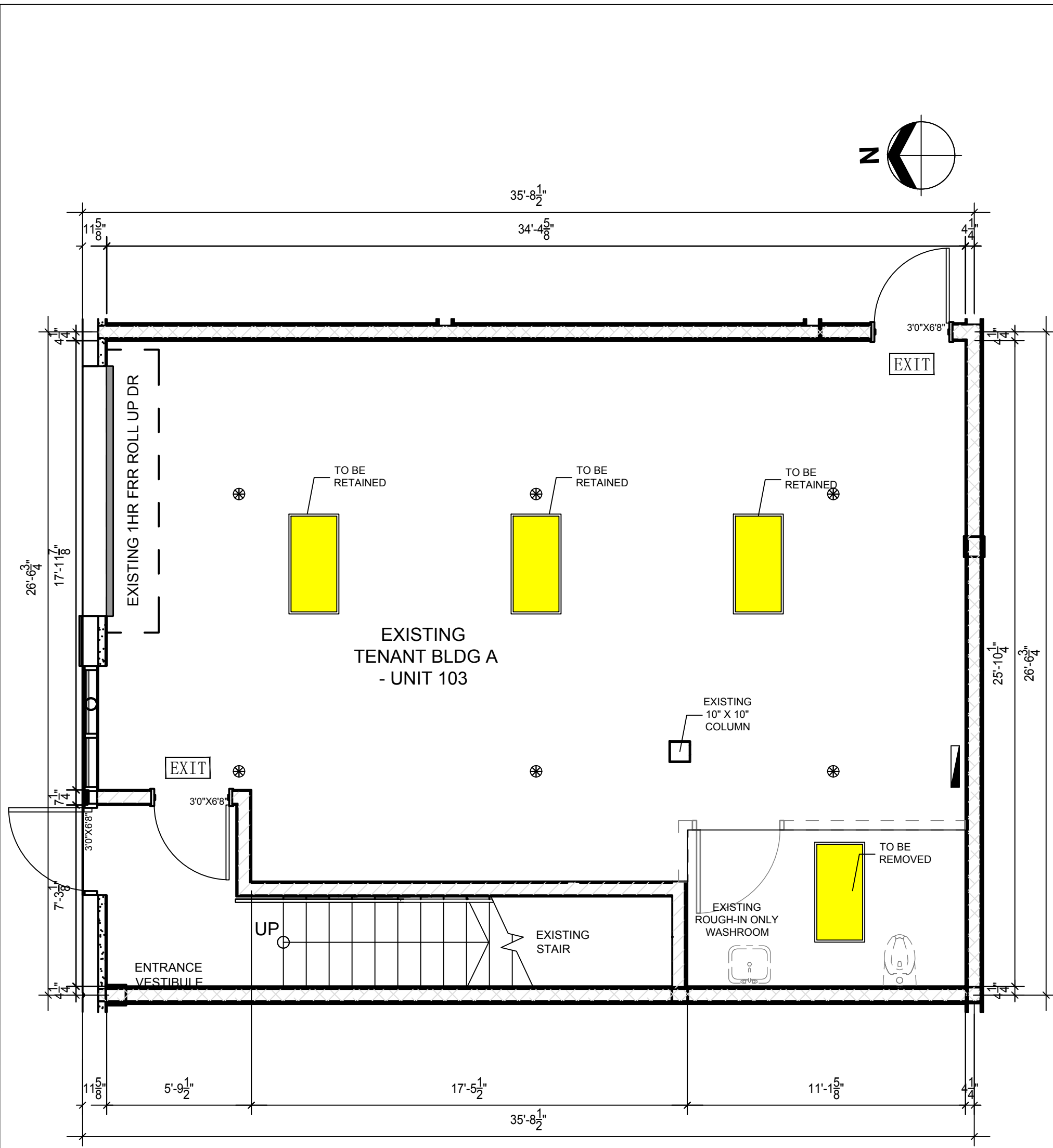
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- All design concepts, drawings, specifications, millwork and details drawn or represented herein are the property of W.M INTERIORS INC. and no part of the same shall be reproduced, copied, disclosed or used in any manner other than for the specific project shown without the written consent of W.M INTERIORS INC.
- All work shall conform with local and Provincial Building Code latest edition.
- All dimensions and conditions shall be verified on site by the General Contractor and any discrepancies shall be reported to W.M INTERIORS INC. for clarification before proceeding with construction.
- Written dimensions on drawings shall have precedence over scaled dimensions.
- Calling heights CH 0'-0" are taken from finished floor level to finished ceiling level.
- Apply fire retardant glazing to wood filigree as required to comply with frame spread rating and smoke development class.
- Where plywood/MDF is used in lieu of gypsum wall board at ceiling assembly, fire retardant agent should be applied to the plywood/MDF.
- Abbreviations:

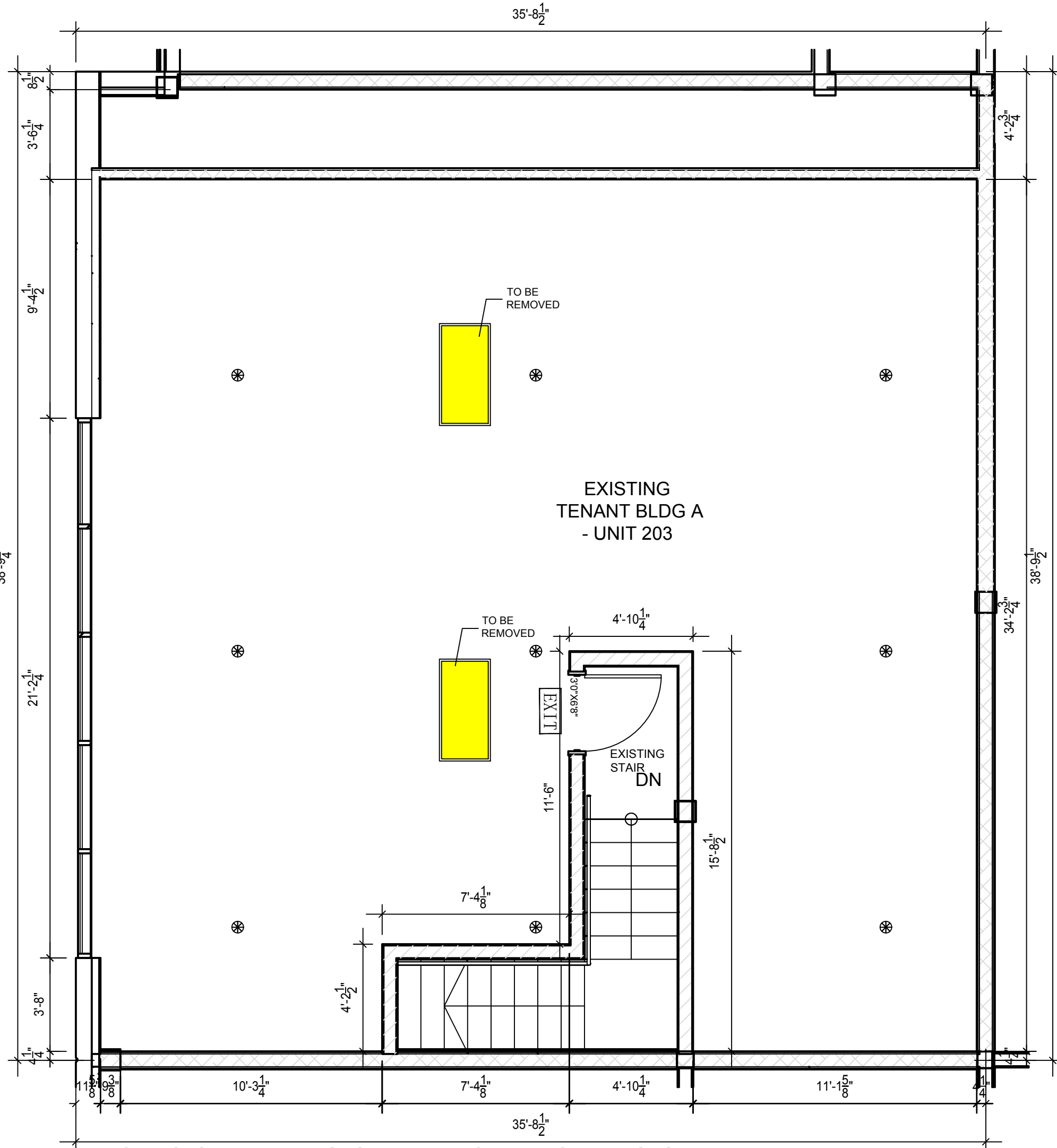
Received
 City of Richmond
 Building Approvals
 October 18, 2024

THESE PLANS MUST BE KEPT ON THE JOB SITE FOR INSPECTIONS

Drawing Title:
 KEY PLAN AND ARCHITECTURE PLAN
 Project:
 UNIT A 103 +A203
 4899 VANGUARD RD
 V6X 0W5
 Drawing No.
 00018
 SCALE:
 A 1
 DATE:
 20240602



1 MAIN FLOOR EXISTING FLOOR PLAN A103
1/4" = 1'-0"



2 SECOND FLOOR EXISTING FLOOR PLAN A203
1/4" = 1'-0"

LEGEND			
	EXISTING FRR WALL (2HRS)		
	EXISTING FRR WALL (1HRS)		
	ELECTRICAL PANEL		
	EXISTING LIGHTING PANEL		
	EXISTING SPRINKLER HEAD		
	EXISTING GLASS WALL		
	EXISTING EXTERIOR CONCRETE WALL		
	EXISTING ROLL UP DOOR		



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- Written dimensions on drawings shall have precedence over scaled dimensions.
- Calling heights CH 0'-0" are taken from finished floor level to finished ceiling level.
- Apply fire retarding stain to wood finishes as required to comply with flame spread rating and smoke development class.
- Where plywood/MDF is used in lieu of gypsum wall board at ceiling assembly, fire retarding agent should be applied to the plywood/MDF.
- Abbreviations:

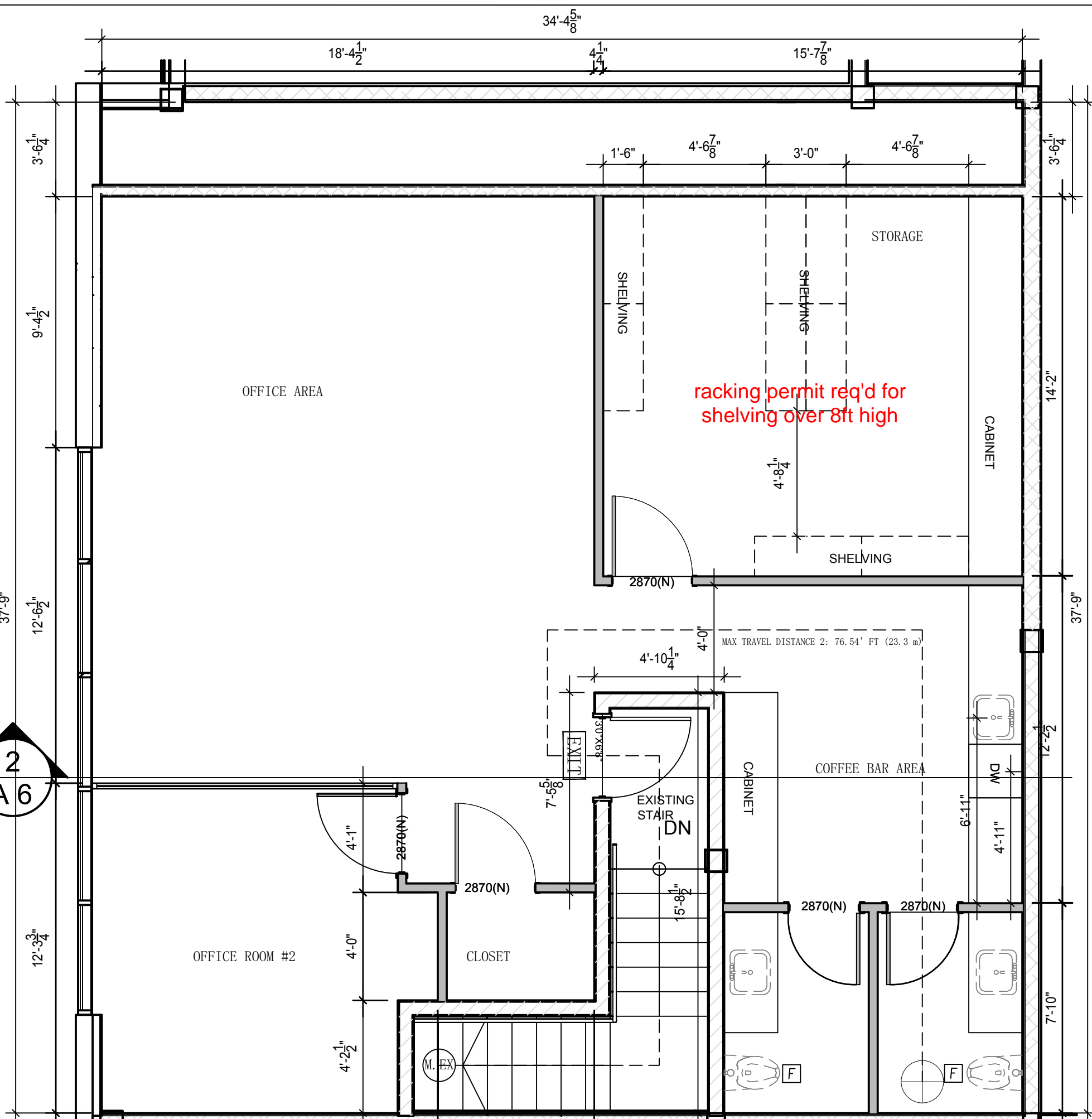
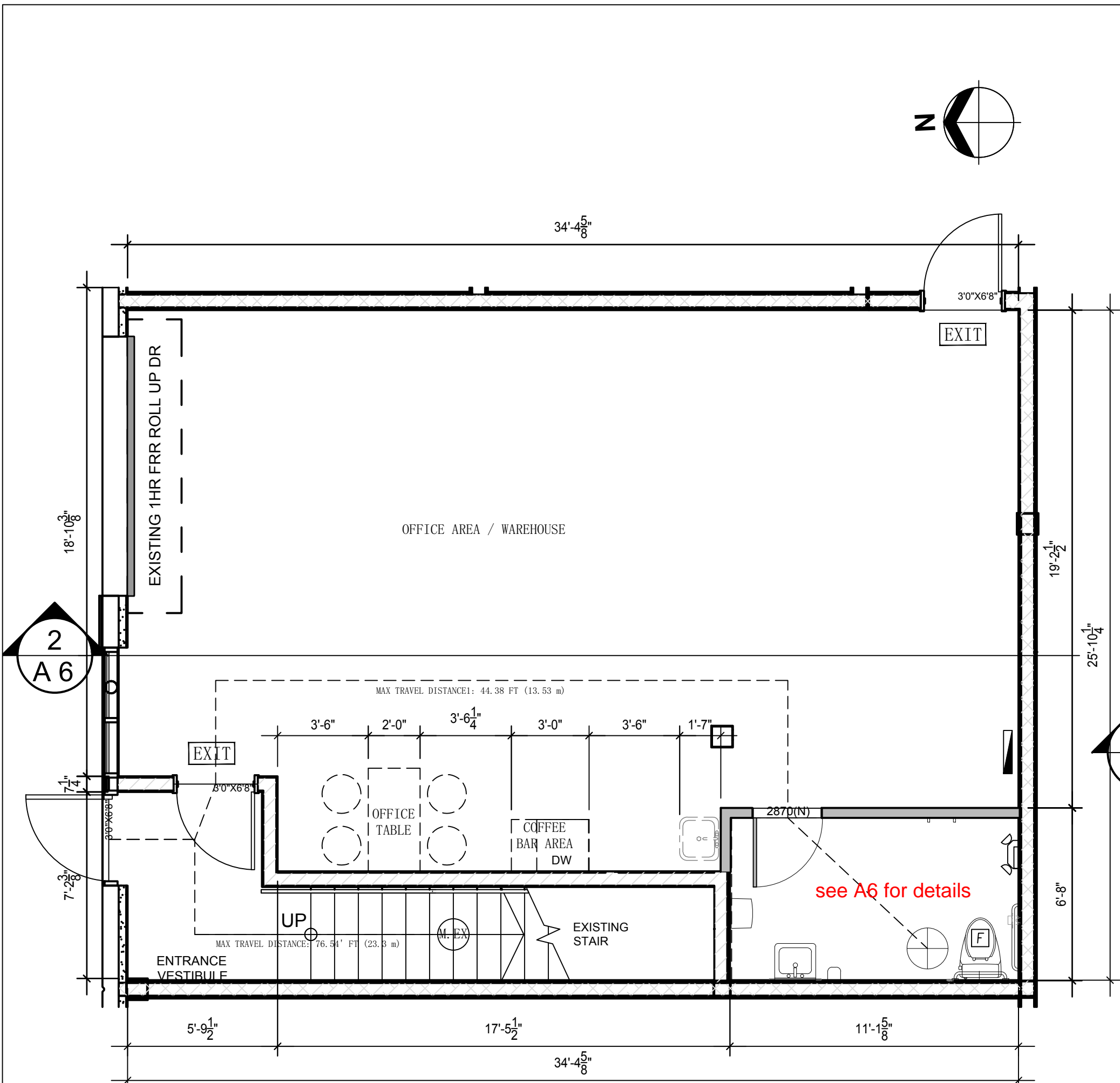
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24-046484

THESE PLANS MUST BE KEPT ON THE JOB SITE FOR INSPECTIONS

Project No. 00018
SCALE: A 2
DATE: 20240602

Drawing Title: EXISTING FLOOR PLAN - ARCHITECTURE PLAN
Project: UNIT A103 + A203
4899 WANGUARD RD
V6K 0N5



1 MAIN FLOOR PROPOSED FLOOR PLAN A103
1/4" = 1'-0"

2 SECOND FLOOR PROPOSED FLOOR PLAN A203
1/4" = 1'-0"

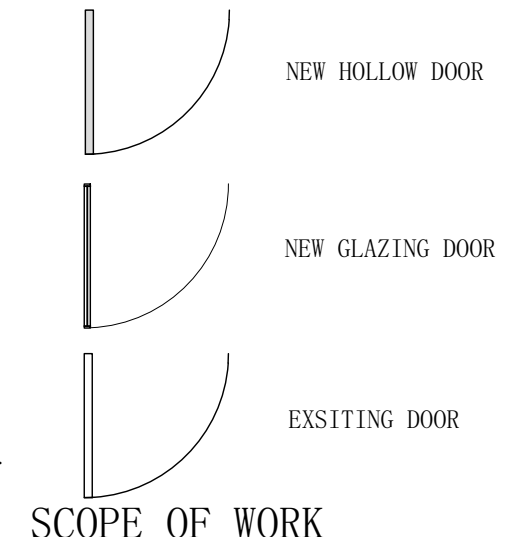
GENERAL NOTES

- REVIEW ALL CONSTRUCTION DOCUMENTS AND COMPARE THEM TO FIELD CONDITION PRIOR TO PROCEEDING WITH THE WORK IMMEDIATELY REPORT ANY CONFLICTS, DISCREPANCIES OR OMISSION TO THE DESIGNER PRIOR TO SUBMITTED BID.
- THE CONTRACTOR SHALL VISIT THE SITE TO FULLY ACQUAINT HIMSELF WITH ALL EXISTING CONDITION REASONABLY INFERABLE FROM EXAMINATION OF THE SITE AND ITS SURROUNDINGS AND CONTRACT DOCUMENTS WITH RESPECT TO SURFACE AND SUBSURFACE CONDITIONS
- DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE MEASURE TO THE FACE OF THE FINISH INTERIOR WALLS TO CONCRETE / MASONRY WALLS OR FINISH INTERIOR WALLS TO INTERIOR WALLS
- VERIFY DIMENSIONS, ELEVATIONS AND EXISTING FEATURE SHOWN ON THE DRAWINGS BEFORE LAYING OUT THE WORK. NOTIFY THE DESIGNER AND TENANT OF ANY DISCREPANCIES BEFORE START WORKING OR BE RESPONSIBLE FOR ANY ADDITIONAL COST ARISING OUT OF CORRECTION TO BE DONE

- DO NOT SCALE DRAWINGS. DIMENSIONS SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY ON SITE WITH ALL TRADES IF DIMENSIONS ARE IN QUESTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE DESIGNER OR TENANT BEFORE CONTINUING.
- FIELD VERIFY EXISTING CONDITIONS. PLANS MAY NOT ACCURATELY REFLECT EXISTING CONATIONS
- ALL WORKS SHALL COMPLY WITH CURRENT BC BUILDING CODE, VANCOUVER BUILDING BYLAW AND GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATE ALL INSPECTIONS AND PERMIT REQUIRE BY LOCAL MUNICIPAL HALL
- PLUMBING, ELECTRICAL AND SPRINKLER (IF APPLICABLE) REQUIRES A SEPARATE PERMIT
- STRUCTURE ENGINEER REQUIRE FOR ALL CEILING, FIXTURE AND TANK SEISMIC (IF APPLICABLE)
- ALL WORK TO BE DONE BY LICENSE TRADES

CONSTRUCTION LEGEND

- EXISTING FRR WALL (2HRS)
- EXISTING FRR WALL (1HRS)
- NEW GLASS WALL 1/2"
- NEW DEMISING WALL (1-HOUR FIRE SEPARATION)
ONE LAYER 5/8" [15.9 MM] SHEET ROCK @GYPSUM PANEL (UL TYPE SCX)
3-5/8" [92 MM] STEEL STUDS, EQ25 (0.015"), 16" O.C.
ONE LAYER 5/8" [15.9 MM] SHEET ROCK @GYPSUM PANEL (UL TYPE SCX)



SCOPE OF WORK

- CONSTRUCT NEW DEMISING WALL AND GLASS WALL AS PER PLAN
- APPLY WALL PAINT
- CONSTRUCT NEW DROP CEILING
- CONSTRUCT NEW WASHROOM

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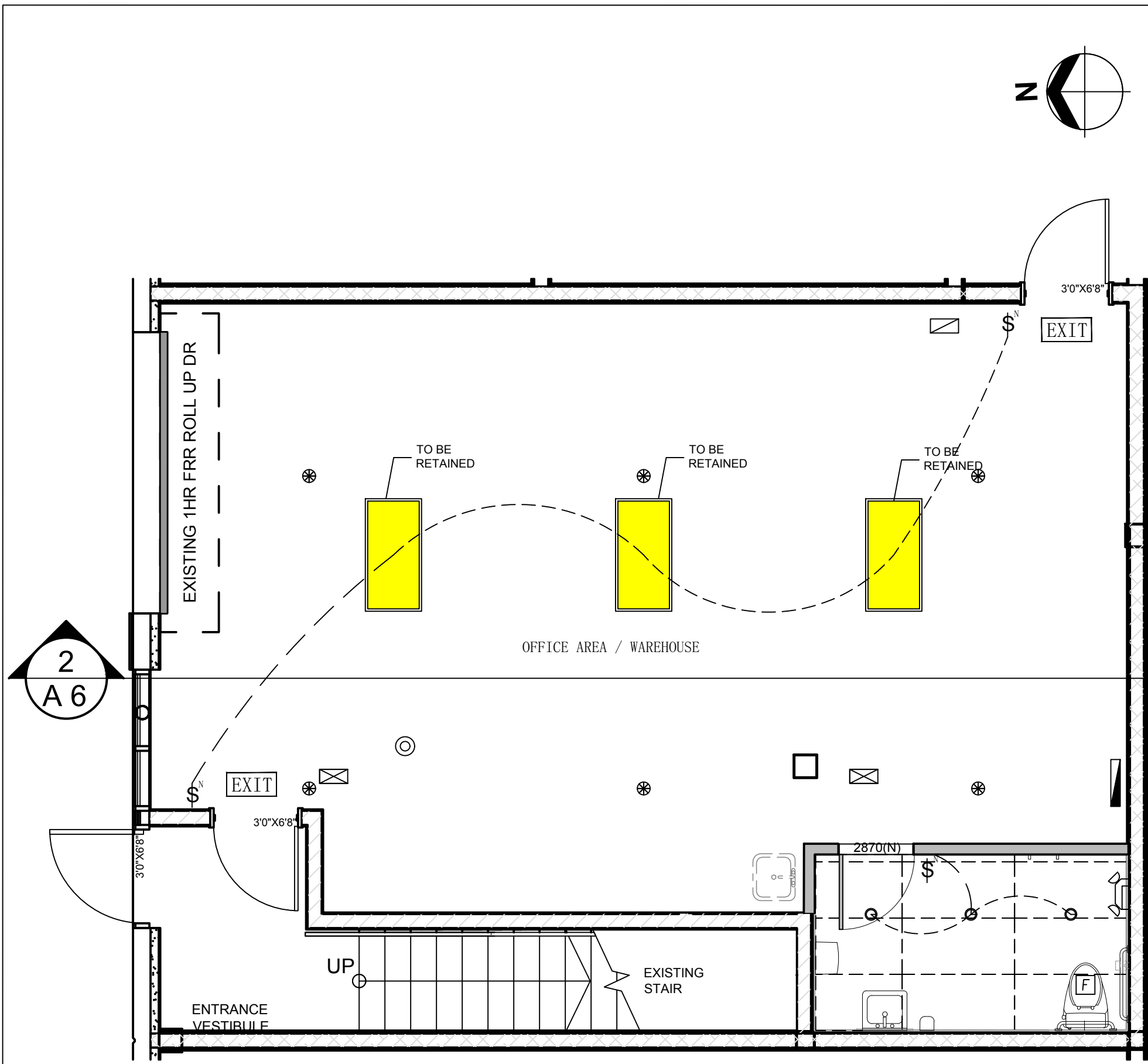
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- Apply fire retarding stain to wood finishes as required to comply with flame spread rating and smoke development class.
- Where plywood/MDF is used in lieu of gypsum wall board at ceiling assembly, fire retarding agent should be applied to the plywood/MDF.
- Abbreviations:

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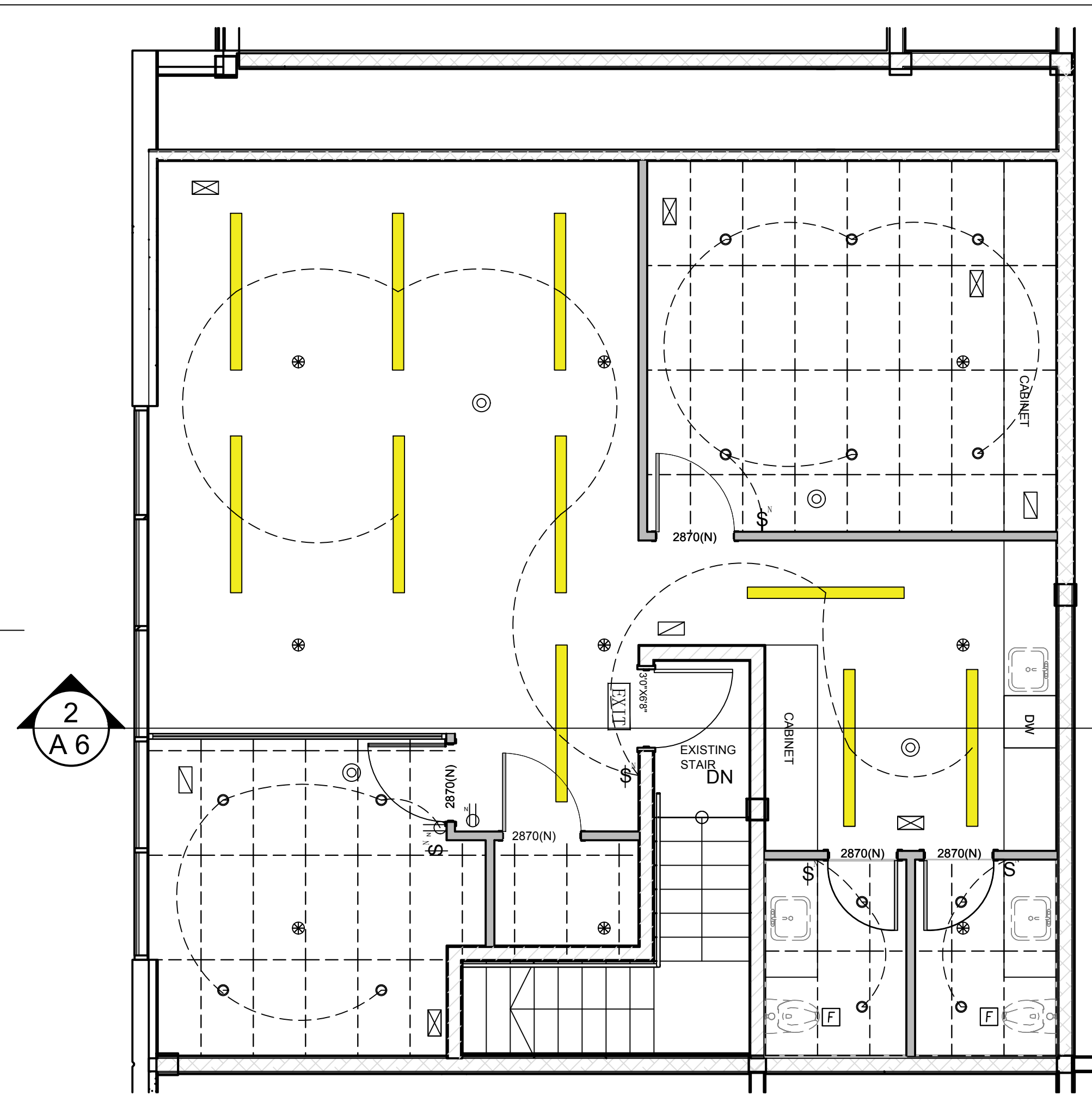
THESE PLANS MUST BE KEPT ON THE JOB SITE FOR INSPECTIONS

Drawing Title: PROPOSED FLOOR PLAN - ARCHITECTURE PLAN
Project: UNIT A 103 +A203 4889 VANGUARD RD V6X 0N5
Project No. 00018
Drawing No. A 3
SCALE: A 3
DATE: 20240602



1 MAIN FLOOR PROPOSED CEILING PLAN A103
1/4" = 1'-0"

RCP LEGEND	
	NEW RECESSED LED POT LIGHT 4"
	NEW RETURN AIR DUCT
	NEW SUPPLY AIR DUCT
	NEW 6' LED TRACK LIGHT
	EXISTING SPRINKLER HEAD
	NEW SMOKE DETECTOR
	NEW LIGHT SWITCH
	NEW FAN
	NEW T-BAR CEILING (UPPER FLOOR: 7'3" HEIGHT) (MAIN FLOOR: 8'5" HEIGHT)
	EXISTING LIGHTING PANEL TO BE RETAINED



2 SECOND FLOOR PROPOSED CEILING PLAN A203
1/4" = 1'-0"

RCP GENERAL NOTES

- ALL CONSTRUCTION WORKMANSHIP AND METHODS TO MEET THE REQUIREMENTS OF THE LATEST EDITION, B. C. BUILDING CODE AND/OR LOCAL BUILDING CODE BY-LAWS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND SITE CONDITIONS ON SITE AND NOTE ANY DISCREPANCIES TO THE DESIGNER PRIOR TO FABRICATION/ INSTALLATION OR START OF WORK.
- GENERAL CONTRACTOR TO CONSULT WITH OWNER OR DESIGNER BEFORE MAKING ANY CHANGES TO THE LIGHT FIXTURE LAYOUT.
- ALL NEW SWITCHES TO BE MOUNTED AT 48" HEIGHT A. F. F.
- GANG TOGETHER ALL SWITCHES AS POSSIBLE
- ALL COVER PLATE TO BE WITH WHITE COLOR VERTICAL

- GENERAL CONTRACTOR AND/OR SUB-TRADES TO VERIFY ALL DIMENSIONS AND CONDITIONS.
- EMERGENCY LIGHTS, EXIT LIGHTS, AND FIRE EXTINGUISHERS TO BE SUPPLIED AND INSTALLED BY CONTRACTOR. QUANTITY AND PLACEMENT TO MEET CODE REQUIREMENTS.

RCP SCOPE OF WORK

FIX ALL GRID LAYOUT AS PER PLAN
 RELOCATE FLUORESCENT LIGHTS AND SWITCHES AS PER PLAN
 NOTE:
 MAIN FLOOR EXISTING CEILING HEIGHT 9'-7" A. F. F.
 UPPER FLOOR EXISTING CEILING HEIGHT 8'-7" A. F. F.
 NOTE: A. F. F. = ABOVE FINISH FLOOR

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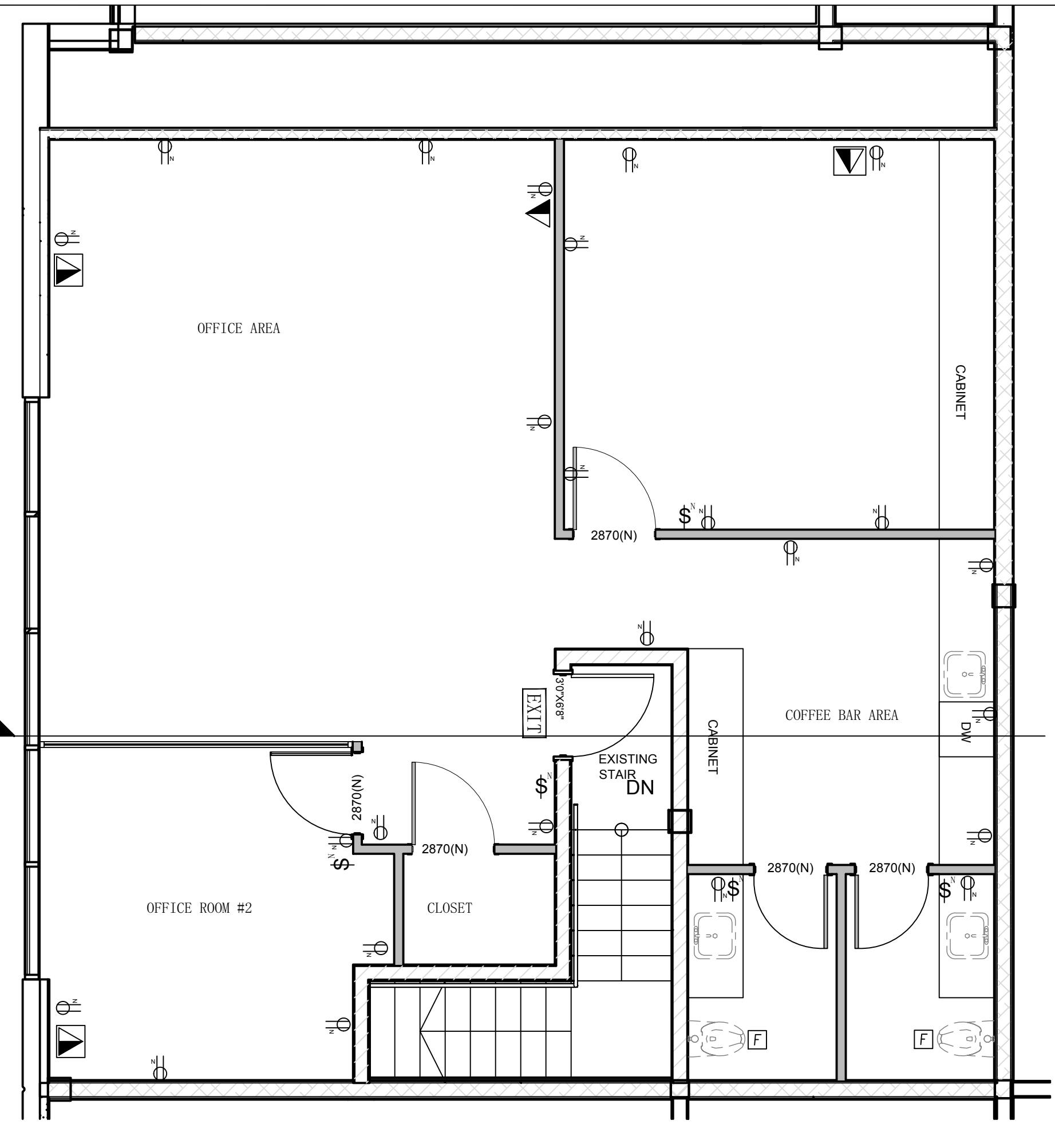
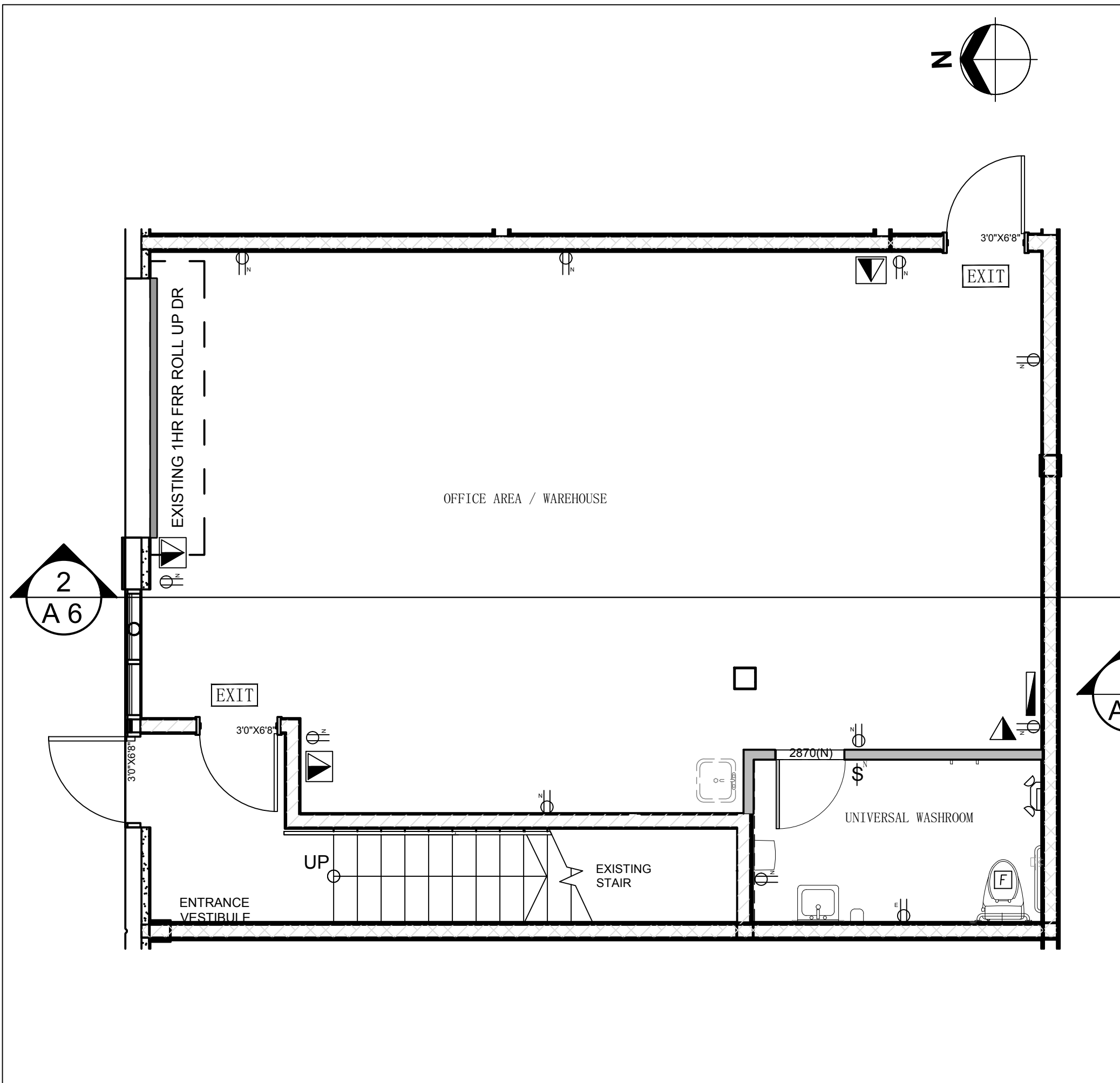
Drawing Title:
REFLECTED CEILING PLAN
 - ARCHITECTURE PLAN

Project:
 UNIT A 103 +A203
 4899 VANGUARD RD
 V6X 0M5

Project No.
 00018

Drawing No.
 A 4

SCALE: _____
 DATE: 20240602



1 MAIN FLOOR PROPOSED ELECTRICAL PLAN A103
 1/4" = 1'-0"

2 SECOND FLOOR PROPOSED ELECTRICAL PLAN A203
 1/4" = 1'-0"

ELECTRICAL LEGEND	
	ELECTRICAL PANEL
	EXISTING DUPLEX OUTLET TO REMAIN
	NEW DUPLEX OUTLET (IN WALL, 1 FOOT FROM FLOOR)
	DATA & TEL (IN WALL, 1 FOOT FROM FLOOR)
	DATA & TEL (HORIZONTAL IN BASEBOARD)
	EXIT SIGN (B.C.B.C. 3.4.5. GREEN PICTOGRAM SIGN W/ LIGHT)
	NEW LIGHT SWITCH
	NEW FAN

ELECTRICAL NOTES

- ALL ELECTRICAL OUTLETS TO BE MOUNTED AT 16" A.F.F. EXCEPT NOTED OTHERWISE.
- ALL CONSTRUCTION WORKMANSHIP AND METHODS TO MEET THE REQUIREMENTS OF THE LATEST EDITION, B.C. BUILDING CODE AND/OR LOCAL BUILDING CODE BY-LAWS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL SWITCHES, WALL OUTLETS AND TELEPHONE OUTLETS. WIRE AS REQUIRED AND INDICATED ON THIS DRAWING.
- ELECTRICAL INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF C.E.C AND LOCAL CODE REQUIREMENTS.
- ALL LIGHT FIXTURE TO BE C.S.A APPROVED AND HAVE C.S.A APPROVAL STICKER VISIBLE TO ELECTRICAL INSPECTOR. CONTRACTOR TO MODIFY EXISTING TO SUIT NEW PARTITION LAYOUT.
- CONTRACTOR TO OBTAIN ALL PERMITS AND PAY ALL FEES REQUIRED FOR ELECTRICAL INSTALLATION.
- CONTRACTOR TO EXAMINE SITE AND EXISTING CONDITIONS AFFECTING WORK.
- PRIOR TO BIDDING, CONTRACTOR TO ENSURE THAT EXISTING BUILDING PANEL HAS SUFFICIENT ROOM TO ACCOMMODATE NEW CIRCUITS.

- CONTRACTOR TO OBTAIN FINAL CERTIFICATE OF INSPECTION AND APPROVAL FROM ELECTRICAL INSPECTION DEPARTMENT.
- ALL POWER, COMPUTER, TELEPHONE OUTLETS TO BE GANGED ON ONE STUD OR HORIZONTAL BAR WHEN THEY ARE INDICATED IN CLOSE PROXIMITY, USE COMBINED FACE PLATES WHERE POSSIBLE.
- ALL WORKMANSHIP AND MATERIALS TO BE GUARANTEED FOR ONE YEAR FROM SUB COMPLETION FOR ANY MECHANICAL DEFECTS.

NOTE: A.F.F. = ABOVE FINISH FLOOR

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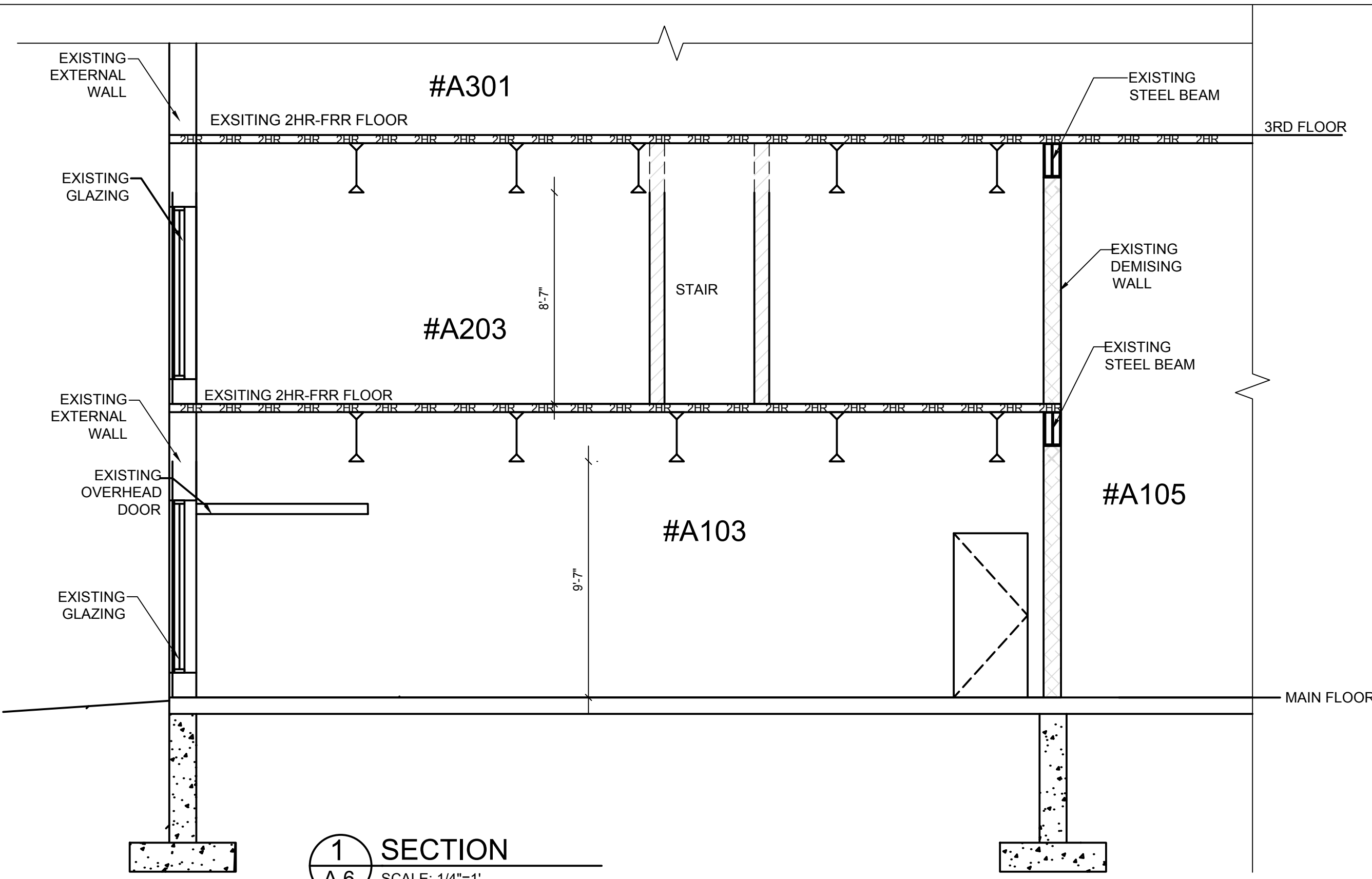
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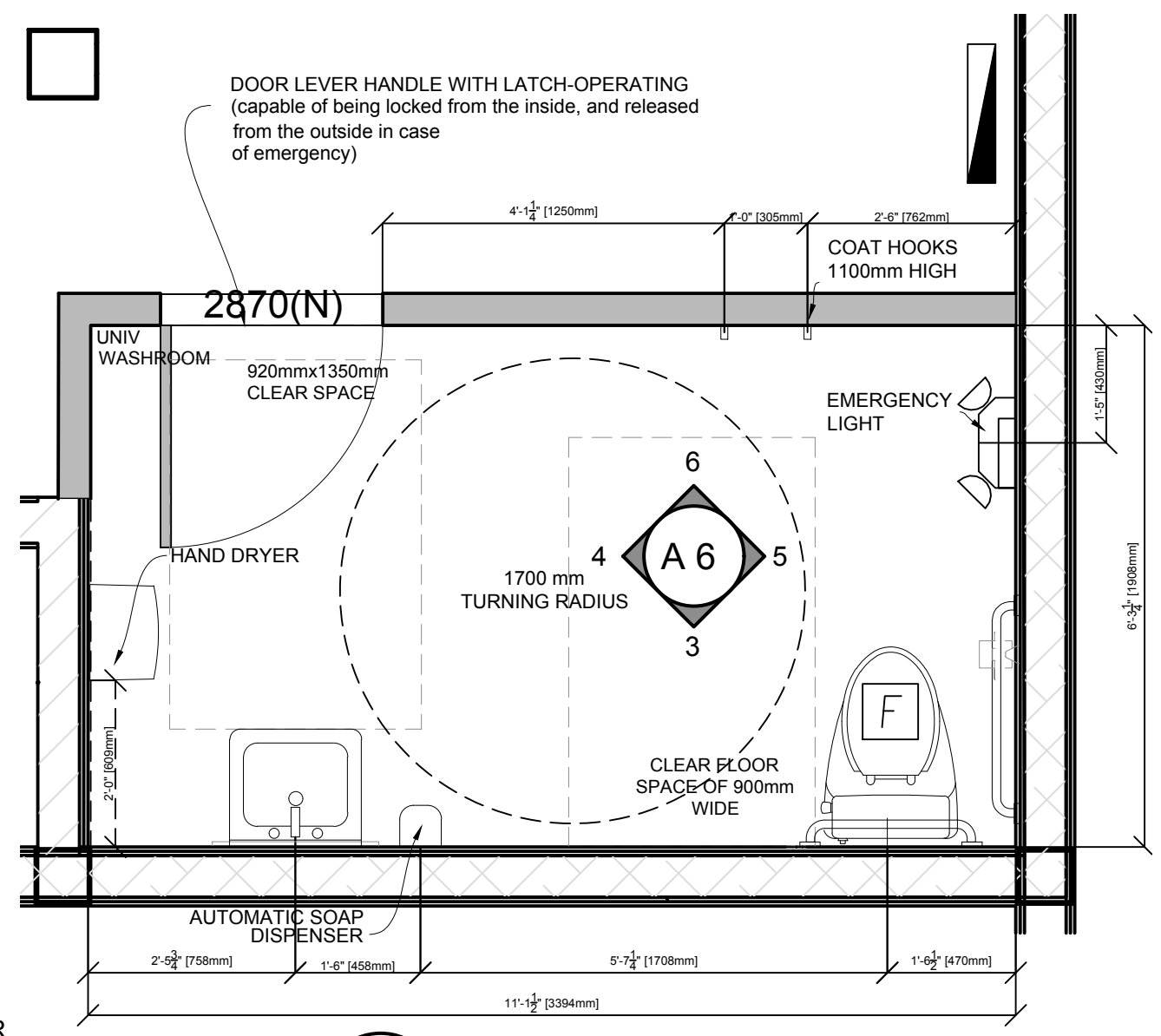
Drawing Title:
**ELECTRICAL PLAN
 -ARCHITECTURE PLAN**

Project:
 UNIT A 103 +A203
 4899 VANGUARD RD
 V6X 0N5

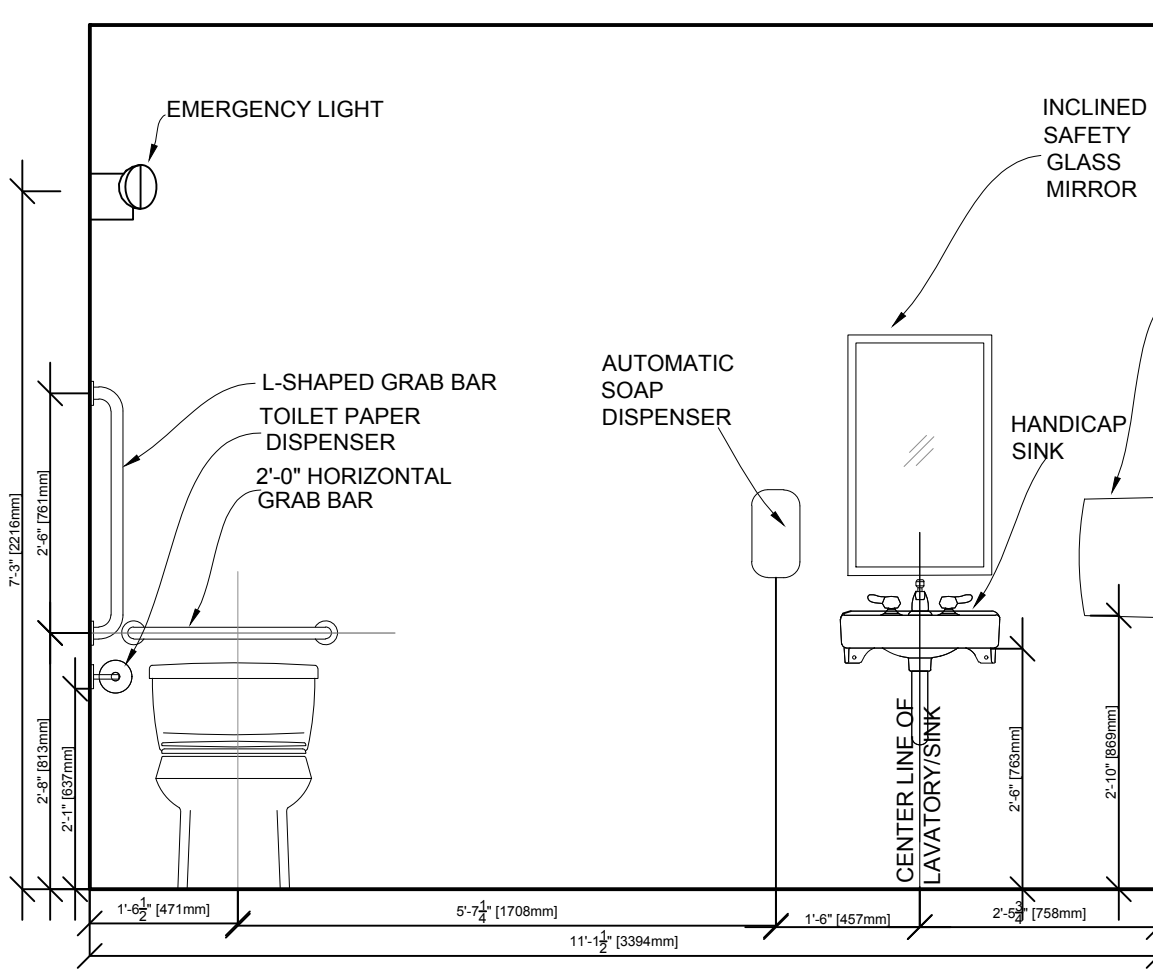
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SCALE:	A 5
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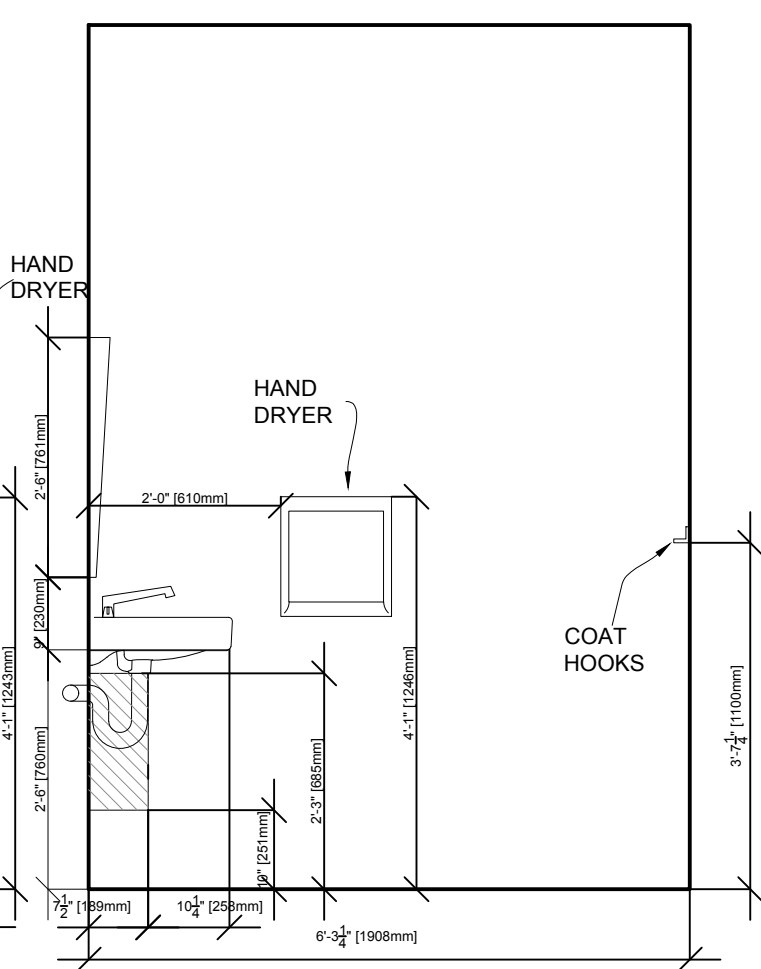
1 SECTION
A 6 SCALE: 1/4"=1'



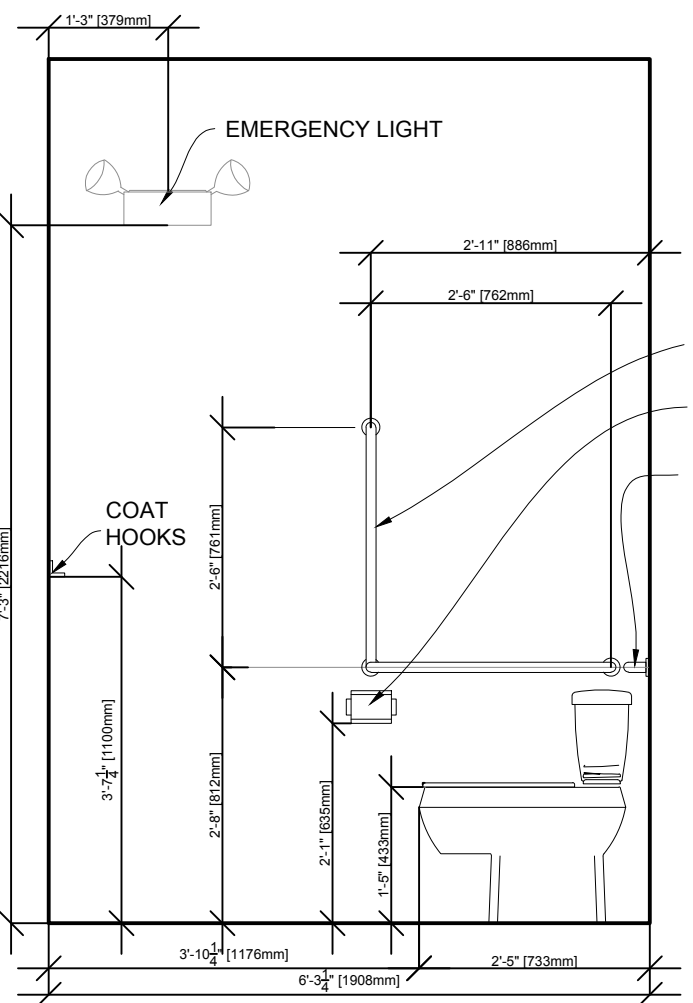
2 WASHROOM PLAN
A 6 1/2"=1'-0"
comply to 3.8.3.13 BCBC



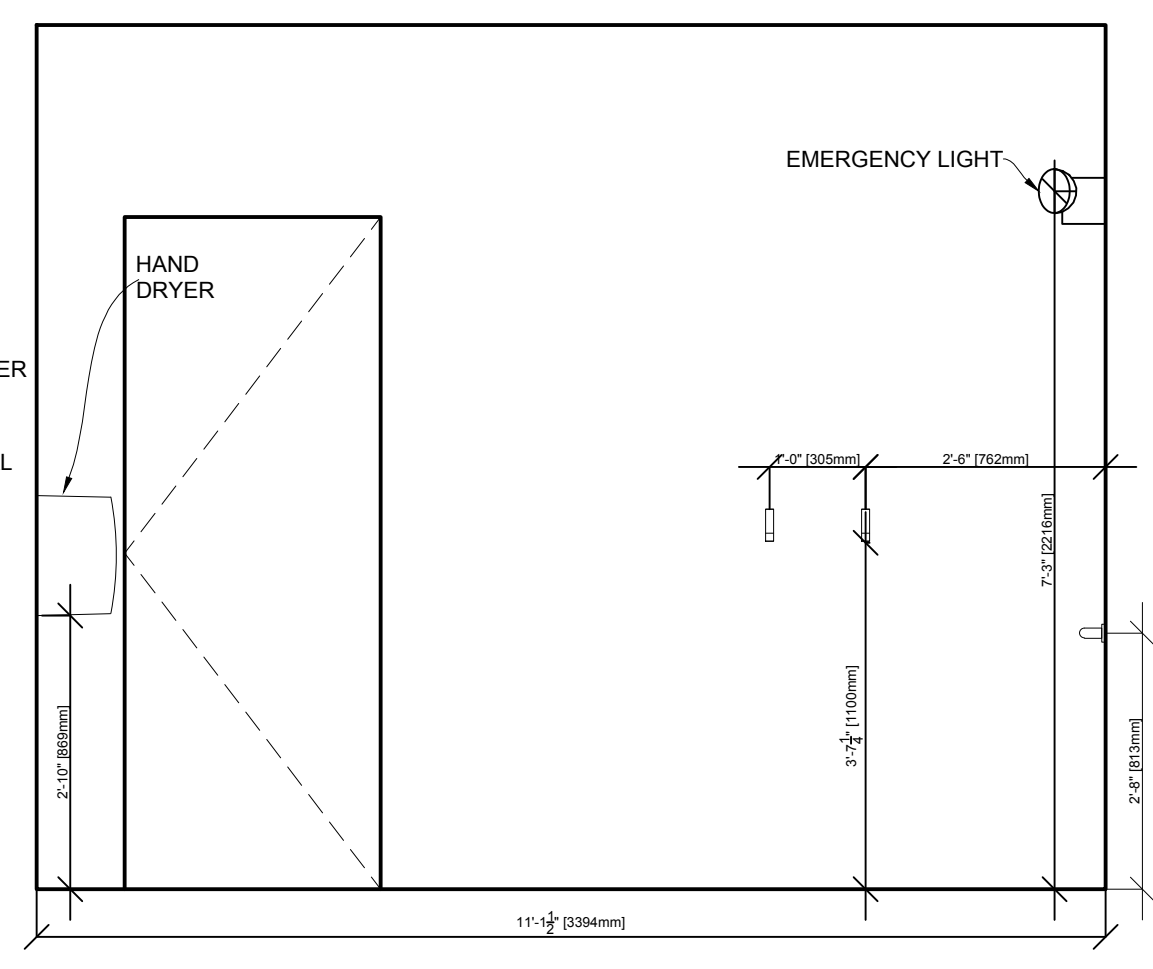
3 WASHROOM PLAN
A 6 1/2"=1'-0"



4 WASHROOM PLAN
A 6 1/2"=1'-0"



5 WASHROOM PLAN
A 6 1/2"=1'-0"



6 WASHROOM PLAN
A 6 1/2"=1'-0"



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ITEM	DESCRIPTION	DATE

- All design concepts, drawings, specifications, millwork and details drawn or represented herein are the property of W.M. INTERIORS INC. and no part of the same shall be reproduced, copied, disclosed or used in any manner other than for the specific project shown without the written consent of W.M. INTERIORS INC.
- All work shall conform with local and Provincial Building Code latest edition.
- All dimensions and conditions shall be verified on site by the General Contractor and any discrepancies shall be reported to W.M. INTERIORS INC. for clarification before proceeding with construction.
- Written dimensions on drawings shall have precedence over scaled dimensions.
- Clearing heights CH 0'-0" are taken from finished floor level to finished ceiling level.
- Apply fire retarding agent to wood finishes as required to comply with flame spread rating and smoke development class.
- Where plywood/MDF is used in lieu of gypsum wall board at ceiling assembly, fire retarding agent should be applied to the plywood/MDF.
- Abbreviations:

Received
City of Richmond
Building Approvals
October 18, 2024

24-046484

THESE PLANS MUST BE KEPT ON THE JOB SITE FOR INSPECTIONS

Drawing Title:
SECTION PLAN AND WASHROOM DETAIL - ARCHITECTURE PLAN

Project:
UNIT A 103 +A203
4889 VANGUARD RD
V6X 0N5

Project No.
00018

Drawing No.
A 6

SCALE:
DATE:
20240602