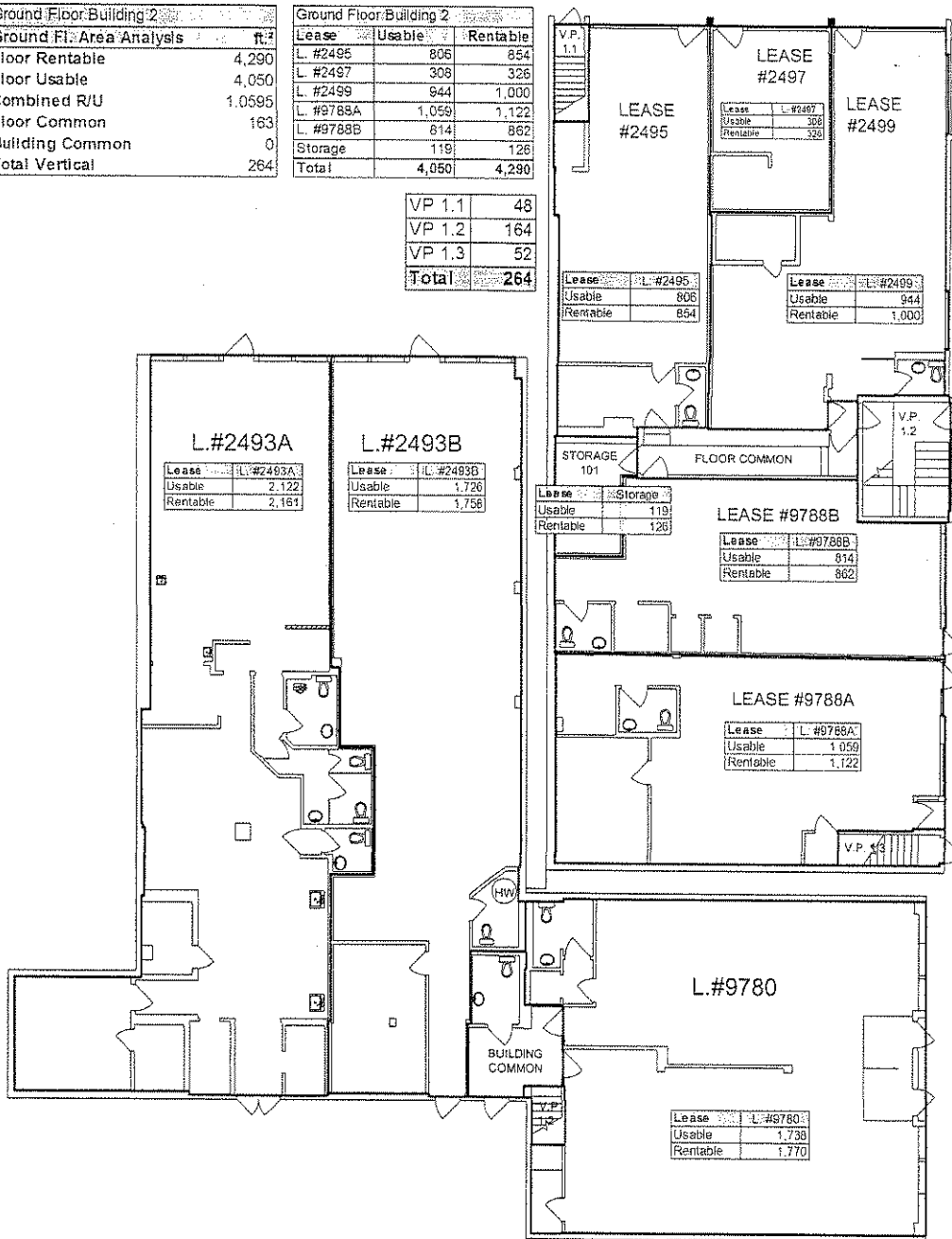


GROUND FLOOR
2493-99 BEACON AVE-
9780-909 2ND STREET
SIDNEY BC

Ground Floor Building 2		
Ground Floor Area Analysis	ft. ²	
Floor Rentable	4,290	
Floor Usable	4,050	
Combined R/U	1,0595	
Floor Common	163	
Building Common	0	
Total Vertical	264	

Ground Floor Building 2		
Lease	Usable	Rentable
L. #2495	806	854
L. #2497	308	326
L. #2499	944	1,000
L. #9788A	1,059	1,122
L. #9788B	814	862
Storage	119	126
Total	4,050	4,290

VP 1.1	48
VP 1.2	164
VP 1.3	52
Total	264



Ground Floor Building 1		
Ground Floor Area Analysis	ft. ²	
Floor Rentable	5,689	
Floor Usable	5,585	
Combined R/U	1,0188	
Floor Common	0	
Building Common	156	
Total Vertical	28	

Ground Floor Building 1		
Lease	Usable	Rentable
L. #2493A	2,122	2,161
L. #2493B	1,726	1,758
L. #9780	1,738	1,770
Total	5,585	5,689

BUILDINGS AMALGAMATED.
LEASE AREAS DETERMINED
ACCORDING TO BOMA 1996.

Buildings 1+2	
Building Totals	ft. ²
Total Rentable	15,862
Total Usable	14,861
Building R/U	1,0185
Floor Common	725
Building Common	276
Total Vertical	615

CORNERSTONE PROPERTIES LTD.
#301-1001 CLOVERDALE AVE.
VICTORIA BC V8X-4C9
TEL 250 475 2005
FAX 250 475 2008

GROUND FLOOR
2493-99 BEACON AVE-
9780-909 2ND STREET
SIDNEY BC

LEASE PLAN

28 July 2012

12-1773

1/16" = 1'-0"

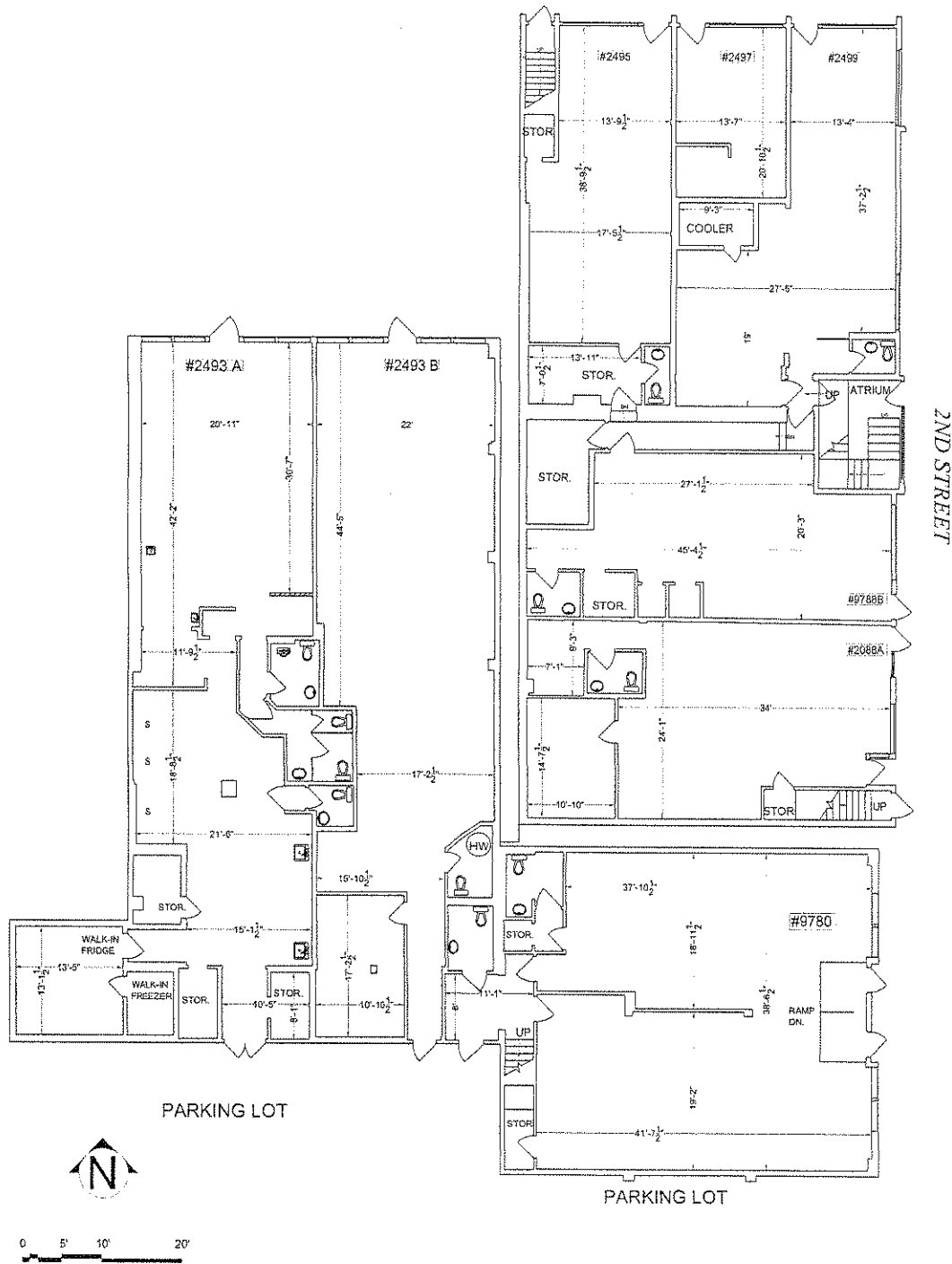
MEASURED DEC 2009, Jul-2012



MEASURE MASTERS
VANCOUVER ISLAND - COMMERCIAL
304 WESTCOTT ROAD
VICTORIA BC V8R 1G2
TEL 250-412-2653 FAX 250-472-2661

GROUND FLOOR
2493-99 BEACON AVE-
9780-909 2ND STREET
SIDNEY BC

BEACON AVENUE



MEASURED DEC 2009, Jul-2012

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GROUND FLOOR
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SIDNEY BC

FLOOR PLAN

27 July 2012

12-1773

1/16" = 1'-0"



MEASURE MASTERS
HANGOVER ISLAND - COMMERCIAL
3034 WESTDOWNE ROAD
VICTORIA BC V8R 5G2
TEL 250 472 2653 FAX 250 472 2663

SECOND FLOOR
2493-99 BEACON AVE-
9780-90 2ND STREET
SIDNEY BC

2ND FLOOR

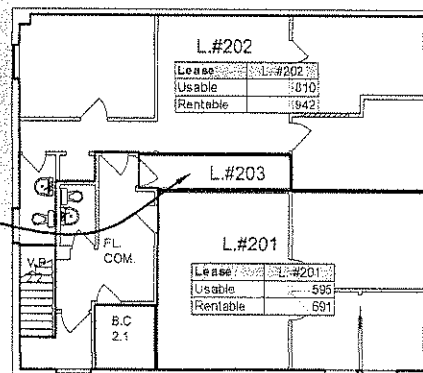
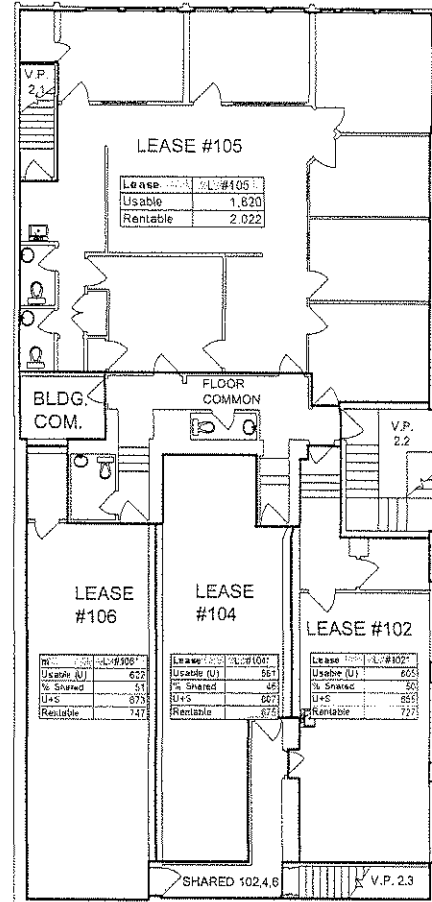
VP 2.1	53
VP 2.2	165
VP 2.3	66
Total	284

Lease	Usable*	Rentable
L. #102*	655	727
L. #104*	607	675
L. #105	1,820	2,022
L. #106*	673	747
Total	3,754	4,171

*Includes proportion of Shared

*INCLUDES PROPORTION OF "SHARED"

2nd Floor Building 2	
2nd Fl. Area Analysis	ft. ²
Floor Rentable	4,171
Floor Usable	3,754
Combined R/U	1,111
Floor Common	348
Building Common	72
Total Vertical	284



2nd Floor Building 1		
Lease	Usable	Rentable
L. #201	595	691
L. #202	810	942
L. #203	67	78
Total	1,472	1,711

2nd Floor Building 1	
2nd Fl. Area Analysis	ft. ²
Floor Rentable	1,711
Floor Usable	1,472
Combined R/U	1,1624
Floor Common	215
Building Common	47
Total Vertical	39

Lease	L. #203
Usable	67
Rentable	78

BUILDINGS AMALGAMATED.
LEASE AREAS DETERMINED
ACCORDING TO BOMA 1996.

MEASURED DEC 2009, Jul-2012

CORNERSTONE PROPERTIES LTD.
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VICTORIA BC V8X 4C9
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GROUND FLOOR
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SIDNEY BC

LEASE PLAN

28 July 2012

12-1773

1/16" = 1'-0"

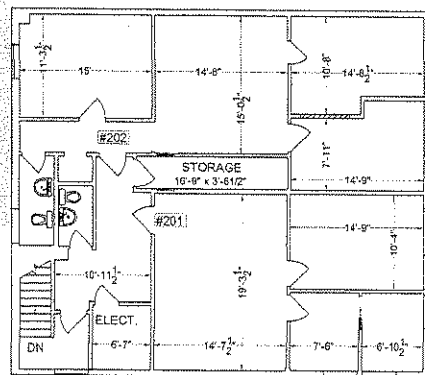
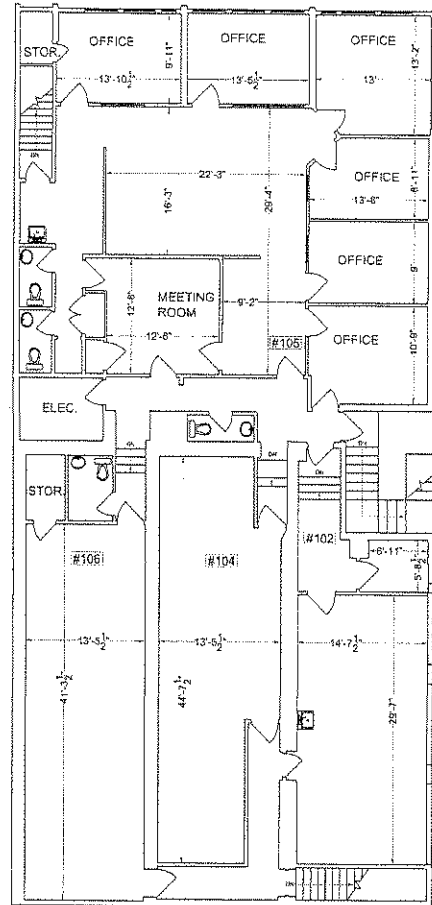
MEASURE MASTERS
VANCOUVER ISLAND - COMMERCIAL
301 WESTDOWN ROAD
VICTORIA BC V8B 5C5
TEL 250 472 2653 FAX 250 472 2655

SECOND FLOOR
2493-99 BEACON AVE-
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SIDNEY BC

2ND FLOOR

BEACON AVENUE

2ND STREET



0 5' 10' 20'

MEASURED DEC 2009, Jul-2012

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FAX 250 475 2008

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SIDNEY BC

FLOOR PLAN

12-1773

27 July 2012

1/16" = 1'-0"



MEASUREMASTER
VANCOUVER ISLAND - COMMERCIAL
3034 WESTCOWNE ROAD
VICTORIA BC V8N 5Z2
TEL 250 472 2031 FAX 250 472 2063