

ISSUED FOR BUILDING PERMIT

INTERIOR DESIGN PACKAGE FOR LANDLORD

CIVIC ADDRESS: UNIT 640, 1111 MELVILLE STREET  
VANCOUVER BC, V6E 2V6

LEGAL DESCRIPTION:  
LOT G, BLOCK 16, PLAN VAP 15732, DISTRICT LOT 185, NEW WESTMINSTER

CONTACT LIST

PROJECT MANAGER: FUSION PROJECTS  
JEFF HARKER  
604.679-4291

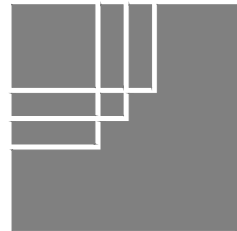
DESIGNER: FUSION PROJECTS  
SANDRA CHAPMAN  
604.346.5046

MECHANICAL: DESIGN-BUILD

ELECTRICAL: DESIGN-BUILD

SCOPE OF WORK

LANDLORD SCOPE OF WORK TO CONSTRUCTION OF NEW OFFICES, PANTRY AREA, OPEN WORK AREA AND MEETING ROOM. NEW POWER & DATA TO SUIT NEW LAYOUT.



FUSION  
PROJECTS



FUSION PROJECT MANAGEMENT LTD.  
800 - 850 WEST HASTINGS STREET,  
VANCOUVER, BC

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BUILDING CODE ANALYSIS

APPLICABLE CODE: VBBL 2019 WITH AMENDMENTS  
OCCUPANCY CLASSIFICATION: GROUP D - OFFICE  
BASE BUILDING OCCUPANCY CLASSIFICATION: GROUP D - OFFICE

BUILDING HEIGHT: 12 STORIES  
BUILDING AREA: 9,789 m<sup>2</sup>  
NUMBER OF STREETS: 2 STREETS

ARTICLE OF CONSTRUCTION: 3.2.2.55 GROUP D, ANY HEIGHT, ANY AREA  
CONSTRUCTION TYPE: NON-COMBUSTIBLE  
FLOOR ASSEMBLY: FRR NOT LESS THAN 2HR  
MEZZANINES: FRR NOT LESS THAN 1HR

LOADBEARING WALLS, COLUMNS & ARCHES SHALL HAVE A FRR NOT LESS THAN THAT REQUIRED FOR SUPPORTED ASSEMBLY.

SPRINKLERED: YES  
FIRE ALARM: FIRE ALARM SYSTEM INSTALLED

TOTAL TENANT AREA  
UNIT #640 1,604 SF (149 m<sup>2</sup>)

OCCUPANT LOAD PROPOSED UNIT #640 16 PEOPLE (9.3/m<sup>2</sup>)

**FIRE SEPARATION**  
OCCUPANCY SEPARATION: NOT LESS THAN 0 Hour (3.1.3.1)  
SEPARATION OF SUITES: NOT REQUIRED (3.3.1.1)  
PUBLIC CORRIDOR: SPRINKLERED BLDG (3.3.1.4)  
SERVICE ROOM: NOT LESS THAN 60 MIN (3.6.2.1)

**EXITS FROM FLOOR AREA**  
NUMBER OF EXITS: 1 EXIT (MIN) (3.4.2.1)  
MAX TRAVEL DISTANCE (SPRINKLERED): 25m (82'-0") (3.4.2.5)

**EGRESS DOORWAYS**  
NUMBER OF DOORWAYS: 1 OR 2 DOORWAYS (MIN) (3.3.1.5)

MAX FLOOR AREA (SPRINKLERED): 300 M2(3,229 SQF) (3.3.1.5-8)  
DOOR SWING: OCCUP. LOAD <60 (3.3.1.11)

EXIT CAPACITY: 6.1mm/PERSON (3.4.3.2)

MIN CLEAR WIDTH OF CORRIDOR: 1100mm (3'-8") (3.4.3.2)  
MIN CLEAR WIDTH OF DOOR: 850mm (2'-10") (3.8.3.6)  
MIN HEADROOM: 2100mm (EXIT) (6'-11") (3.4.3.4)  
2030mm (DOOR) (6'-8")

EXITS  
EGRESS ROUTE WIDTH PROVIDED: 1,448 mm MIN (3'-8") (3.4.3.2)  
EGRESS DOOR PROVIDED: 1 X 3'-0" DOORS (420.9mm MIN)

MAX FLAME SPREAD RATING: WALL FINISH MAX 150  
CEILING FINISH MAX 25

EXIT SIGNS: REQUIRED AT ALL EXITS (3.4.5.1)  
RELEASE HARDWARE: MAX FORCE 22N (3.8.3.6)  
DOORS OPERABLE  
DOOR SWING: OCCUPANT LOAD>60 (3.3.1.11)

**ADDITIONAL REQUIREMENTS FOR HIGH BUILDINGS**  
VENTING TO AID FIREFIGHTING  
BY MECHANICAL ENGINEER ( SMOKE SHAFT OR EXHAUST) (3.2.6.6)

LIGHTING AND EMERGENCY POWER  
LIGHTING FOR EXITS: 50 LX MIN (3.2.7.1)  
EMERGENCY LIGHTING: 10 LX MIN (3.2.7.3)  
EMERGENCY POWER FOR LIGHTING: 2 HR (3.2.7.4)

WASHROOM REQUIREMENTS  
WASHROOMS REQUIRED OFFICE USE: 2 TOILET(S) FOR MEN (3.7.2.2)  
2 TOILET(S) FOR WOMEN

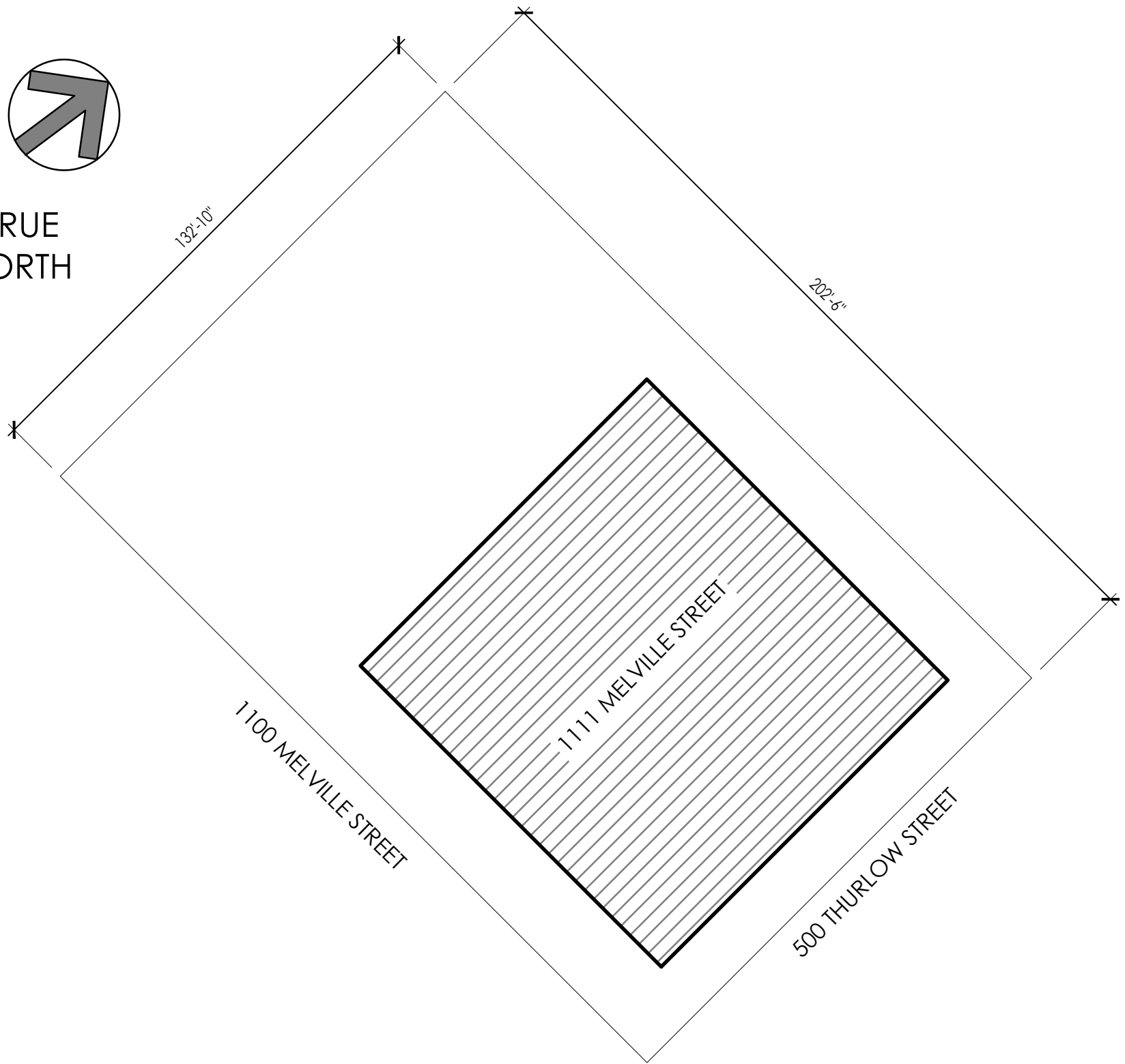
WASHROOMS PROVIDED: 2 TOILET(S) + 1 URINAL FOR MEN  
3 TOILET(S) FOR WOMEN + 1 ACCESSIBLE

DRAWING LIST

|        |                        |
|--------|------------------------|
| ID0.00 | COVER SHEET            |
| ID0.01 | GENERAL NOTES          |
| ID0.02 | GENERAL NOTES          |
| ID1.00 | CONSTRUCTION PLAN      |
| ID1.01 | DOOR SCHEDULE          |
| ID1.02 | REFLECTED CEILING PLAN |
| ID1.03 | POWER & DATA PLAN      |
| ID1.04 | FINISHES PLAN          |



TRUE  
NORTH



1 SITE PLAN

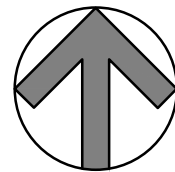
Scale: 1/32" = 1'-0"

UPGRADE REQUIREMENTS :

- MINOR RENOVATION REQUIRED UPGRADE LEVELS: ( 11.2.1.2)
- F1: PROJECT AREA -EXITS TO BE UPGRADED WITH RESPECT TO NUMBER, CAPACITY, AND FIRE SEPARATIONS ONLY
- S2: PROJECT AREA- NON-STRUCTURAL ELEMENTS AND FALLING HAZARDS MUST BE RESTRAINED TO RESIST LATERAL LOADS DUE TO EARTHQUAKES WITHIN THE PROJECT AREA.
- N1: RESTRAIN ALL FALLING ELEMENTS IN EXITS AND PATHS OF TRAVEL.RESTRAIN ALL CEILING SUPPORTING FRAMES, I-BARS ASSEMBLIES,CEILING GYPSUM WALL BOARDS, ALL OVERHEAD MECHANICAL DUCTS, AND EQUIPMENT,SPRINKLER SYSTEM, OVERHEAD ELECTRICAL CONDUITS AND LIGHTS.
- A2: ACCESSIBILITY UPGRADE IN PROJECT AREA - DOOR CLEARANCES, DOOR HARDWARE, AND AREA OF REFUGE.

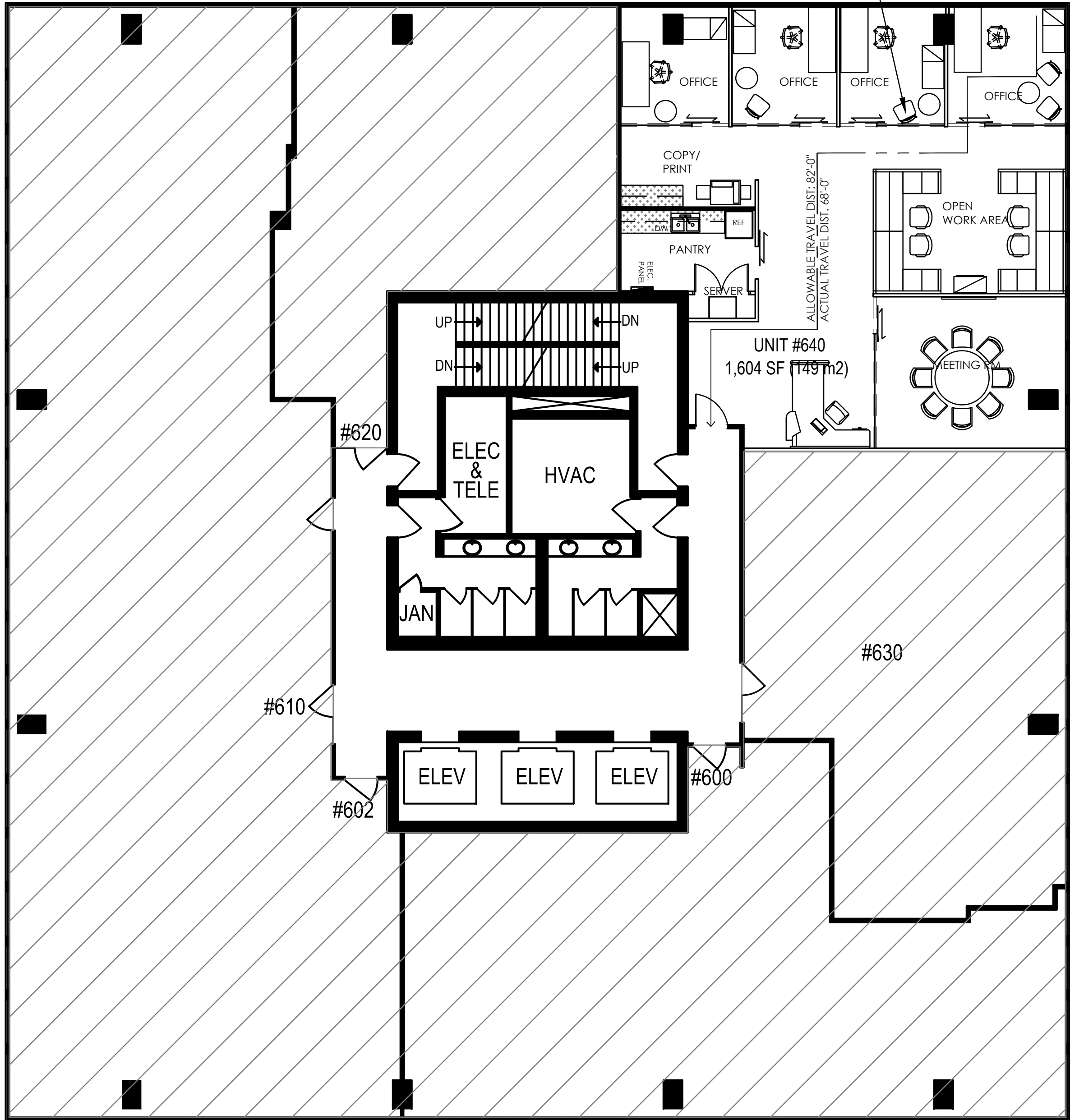
UPGRADE DEMONSTRATED :

- F1: REFER TO KEY PLAN FOR EXITS, AND RCP PLAN FOR FIRE ALARM AND EMERGENCY LIGHTING.
- S2: REFER TO CONSTRUCTION PLAN AND CONSTRUCTION NOTES.
- N1: REFER TO CONSTRUCTION PLAN AND CONSTRUCTION NOTES.
- A2: REFER TO DOOR SCHEDULE- DOOR KNOB CHANGED TO LEVER SET & SLIDING DOORS



PROJECT  
NORTH

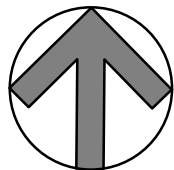
AREA OF ALTERATION  
UNIT : #640 (149m2)



2

KEY PLAN

Scale: 1/8" = 1'-0"



PROJECT NORTH

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| 2   | ISSUE FOR PERMIT | 2025.08.xx |
| 1   | DRAWING REVIEW   | 2025.08.22 |
| NO. | REVISIONS        | DATE       |

SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER.

PROJECT

LANDLORD SCOPE  
OF WORK

SUITE 640, 1111 MELVILLE STREET  
VANCOUVER BC, V6E 2V6

DRAWING TITLE

COVER SHEET

PROJECT NO.: 25-068  
SCALE: AS NOTED  
DRAWN BY: SC  
CHECK BY: TBD

DRAWING NO.

ID0.00



# ISSUED FOR BUILDING PERMIT / TENDER / CONSTRUCTION

## GENERAL NOTES

- DO NOT SCALE DRAWINGS.
- ALL SUBCONTRACTORS ARE REQUIRED TO TAKE PART IN A SITE REVIEW TO CHECK THE SITE PRIOR TO SUBMITTING TENDERS AND INCLUDE FOR ALL WORK NECESSARY FOR COMPLETE INSTALLATION OF THEIR SCOPE OF WORK.
- ALL SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS ON SITE AND SHALL REPORT ANY ERRORS OR OMISSIONS OR DISCREPANCIES TO THE PROJECT MANAGER IMMEDIATELY BEFORE PROCEEDING WITH ANY WORK. NO CONTRACT REVISIONS OR EXTRAS WILL BE ALLOWED FOR FAILURE TO VERIFY SITE CONDITIONS AND DIMENSIONS.
- THE PROJECT MANAGER AND ALL SUBCONTRACTORS SHALL FAMILIARIZE THEMSELVES WITH THE LANDLORD'S BASE BUILDING GUIDELINES FOR CONSTRUCTION, BUILDING ACCESS, ELEVATOR ACCESS, PERMITTED WORKING HOURS, PARKING, AND SECURITY. ALL SUBCONTRACTORS ARE TO ADHERE TO AND ABIDE BY ALL REQUIREMENTS OF THE CONSTRUCTION GUIDELINES FOR THE BUILDING, FROM THEIR LATEST EDITION, AND SHOULD INCLUDE FOR ALL COSTS EITHER EXPRESSED OR IMPLIED BY THESE GUIDELINES.
- ALL SUBCONTRACTOR AND SUPPLIERS ARE TO BE AWARE OF THE PROJECT SCHEDULE AND ENSURE THAT THEIR TENDER PRICE INCLUDES FOR ALL SHIFT WORK, PREMIUM TIME, AND OVERTIME THAT WILL BE REQUIRED TO COMPLETE THE WORK AS OUTLINED IN THESE CONTRACT DOCUMENTS, AND TO COORDINATE WITH OTHER SUB-TRADES AND SUPPLIERS WORK, AS INDICATED ON THE SCHEDULES, FOR ALL PHASES, STAGES AND TURNOVER DATES. PLEASE NOTE DOUBLE SHIFTING MAY BE REQUIRED AND WILL BE ASSUMED TO BE INCLUDED IN THE BASE BID.
- ALL SUBCONTRACTORS ARE RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS AND INSPECTIONS BY THE AUTHORITY HAVING JURISDICTION AND AFTER COMPLETION OF WORK, IMMEDIATELY UPON RECEIPT FORWARD A COPY OF THE ROUGH IN, FINAL AND OCCUPANCY DOCUMENTATION TO THE PROJECT MANAGER. THE BUILDING PERMIT WILL BE APPLIED AND PAID FOR BY THE PROJECT MANAGER ON BEHALF OF THE CLIENT.
- THE PROJECT MANAGER SHALL BE RESPONSIBLE TO DISTRIBUTE FULL SETS OF DRAWINGS AND SPECIFICATIONS TO ALL TRADES FOR COMPLETE COORDINATION. IT IS THE RESPONSIBILITY OF ALL SUBCONTRACTORS TO VIEW ALL DRAWINGS AND SPECIFICATIONS FOR FULL EXTENT OF WORK REQUIRED. FLOOR PLAN IS NOT INTENDED TO LIST AND ITEMIZE ALL SUCH WORK.
- INTERIOR DESIGN DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ALL MECHANICAL, ELECTRICAL, AND STRUCTURAL ENGINEER DRAWINGS AND SPECIFICATIONS.
- ALL WORK SHALL BE IN CONFORMANCE WITH, BUT NOT LIMITED TO, ALL THE LATEST EDITIONS OF THE NATIONAL, PROVINCIAL, CITY, OR LOCAL BUILDING CODES AND ANY LOCAL BY-LAWS AS APPLICABLE TO THE JURISDICTION WHERE THE CONSTRUCTION IS TO BE PERFORMED. THE SUBCONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL CODES AND AMENDMENTS THAT APPLY TO THIS CONSTRUCTION.
- ALL MATERIAL AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CANADIAN CONSTRUCTION STANDARDS, THE MOST CURRENT BRITISH COLUMBIA BUILDING CODE, AND ANY LOCAL BY-LAWS HAVING JURISDICTION. ALL MATERIALS SHALL BE INSTALLED TO MANUFACTURER'S SPECIFICATIONS. ANY MATERIALS NOT SPECIFIED SHALL BE THE MOST SUITABLE FOR THE INTENDED PURPOSE.
- ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COORDINATION, SUBMISSION OF ANY SHOP DRAWINGS AND SAMPLES TO THE PROJECT MANAGER FOR THEIR REVIEW ALONG WITH THE DESIGNER. THE DESIGNER RESERVES THE RIGHT TO REJECT WORK THAT DOES NOT CONFORM TO THE CONTRACT DOCUMENTS. SUBCONTRACTOR TO REPAIR OR REPLACE REJECTED WORK AT NO ADDITIONAL COST TO THE CLIENT.
- ALL SUBCONTRACTORS ARE TO ENSURE ANY PENETRATIONS TO EXISTING WALLS AND FLOORS MUST MAINTAIN THE INTEGRITY OF ANY EXISTING FIRE SEPARATION AS REQUIRED. ALL MATERIALS TO MEET FLAME SPREAD RATINGS AND SMOKE DEVELOPMENT CLASSIFICATION OF AUTHORITIES HAVING JURISDICTION.
- ALL PATCHING AND REPAIRING OF SURFACES ARE NOT NECESSARILY SHOWN. PATCH AND REPAIR ALL EXISTING SURFACES SCHEDULED TO RECEIVE NEW FINISHES SO THAT ALL SURFACES WHEN COMPLETE RESEMBLE ALL NEW INSTALLATION.
- ALL SUBCONTRACTORS ARE TO INSPECT ALL EXISTING SURFACES AND ASSEMBLIES TO RECEIVE FINISHES AND CONFIRM ACCEPTABILITY PRIOR TO INSTALLATION (I.E. UNEVEN FLOORS, ETC).
- SUBCONTRACTORS TO MAINTAIN LIFE SAFETY SYSTEMS, FIRE ALARM, AND FIRE PROTECTION SYSTEMS AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD AS PER THE BUILDING CODE.
- STONE AND CERAMIC TILE WORK TO CONFORM TO TTMAC STANDARDS UNLESS OTHERWISE NOTED.
- IT IS THE SUBCONTRACTOR'S RESPONSIBILITY TO ORDER ALL LONG TERM ORDER AND DELIVERY ITEMS PRIOR TO PROJECT START TO ENSURE A TIMELY INSTALLATION AND NOTIFY ANY ISSUES AT THE TIME OF TENDER.
- ALL SUBCONTRACTORS TO ALLOW FOR HOIST/SCAFFOLDING TO ACCESS HIGH CEILING AREAS IF REQUIRED.
- ALL SUBCONTRACTORS ARE RESPONSIBLE FOR THEIR OWN DAILY CLEANUP OF THEIR GENERATED DEBRIS, AND ORGANIZATION OF THEIR MATERIALS AND TOOLS ON SITE. ALWAYS COMPLY WITH BASE BUILDING GUIDELINES WITH REFERENCE TO GARBAGE REMOVAL PROTOCOLS.
- ALL SUBCONTRACTORS ARE RESPONSIBLE TO COMPILE, BIND, AND HAND OVER AT TIME OF SUBSTANTIAL COMPLETION ALL MAINTENANCE MANUALS, GUIDELINES, WARRANTY SCHEDULES FOR ALL CONSTRUCTION, FINISHES, AND EQUIPMENT INCLUDING DIGITAL DRAWINGS (AUTOCAD) AND FINAL CLOSE OUT DOCUMENTS. AIR BALANCE REPORTS MUST BE PROVIDED WITHIN 14 DAYS OF SUBSTANTIAL COMPLETION OF THE PROJECT.
- ALL WORK SHALL BE GUARANTEED BY THE SUBCONTRACTOR FOR A PERIOD OF ONE YEAR UNLESS OTHERWISE NOTED FROM THE DATE OF SUBSTANTIAL COMPLETION SPECIFIED BY THE PROJECT MANAGER.
- ALL DEFICIENCIES NOTED BY THE CONSULTANTS/DESIGNERS AT THE END OF THE PROJECT MUST BE COMPLETED WITHIN 7 DAYS FROM THE DATE OF SUBSTANTIAL COMPLETION. ANY SUBCONTRACTORS RETURNING TO REPAIR DEFICIENCIES AND/OR UNDERTAKE WARRANTY REPAIRS ARE RESPONSIBLE FOR THOROUGHLY CLEANING AFFECTED AREAS/SURFACES

- PRIOR TO LEAVING SITE. IF DEBRIS ARE LEFT BY THE SUBCONTRACTOR, THE PROJECT MANAGER WILL HAVE A CLEANING COMPANY COME IN AND CLEAN UP AND THE SUBCONTRACTOR WILL BE CHARGED BACK ACCORDINGLY.
- 23.DURING CONSTRUCTION, EACH SUBCONTRACTOR SHALL BE RESPONSIBLE FOR THE COST AND COORDINATION OR REPAIRING ANY DAMAGE CAUSED BY THEIR WORK OR FORCES. THE SUPERINTENDENT MUST BE INFORMED IMMEDIATELY OF ANY DAMAGE TO THE BASE BUILDING. ONLY BASE BUILDING APPROVED SUBCONTRACTORS INVOLVED WITH THE PROJECT WILL BE PERMITTED TO UNDERTAKE ANY REPAIRS.
- 24.AT THE TIME OF SUBSTANTIAL COMPLETION ALL SUBCONTRACTOR TOOLS, MATERIALS AND GARBAGE MUST BE REMOVED OFF SITE. IF ANY GARBAGE OR MATERIALS ARE LEFT ONSITE, THE SUPERINTENDENT WILL CONTACT YOU TO IMMEDIATELY REMOVE THEM. IF YOU DO NOT IMMEDIATELY REMOVE THEM, THEN THE SUPERINTENDENT WILL HAVE THEM REMOVED OFF SITE AND A CHARGE BACK WILL BE ISSUED TO THE SUBCONTRACTOR FOR THE COST OF REMOVAL.
- 25.ALL SUBCONTRACTORS TO FOLLOW PROJECT MANAGER AND SITE SUPERINTENDENT DIRECTION WITH REGARDS TO SITE RULES AND SAFETY PRACTICES, INCLUDING COMPLETION OF ALL REQUIRED PAPERWORK.
- 26.FINAL CLOSE-OUT DOCUMENTS MUST BE PROVIDED TO THE PROJECT MANAGER AT SUBSTANTIAL COMPLETION OF THE PROJECT. AIR BALANCE REPORTS MUST BE PROVIDED WITHIN 14 DAYS OF SUBSTANTIAL COMPLETION OF THE PROJECT.
- 27.ALL DIMENSIONS ARE TO CENTERLINE OF NEW PARTITION EXCEPT WHERE DIMENSIONS HAVE BEEN TAKEN FROM EXISTING BASE BUILDING OR WHERE A MINIMUM CLEARANCE IS REQUIRED. DIMENSIONS LABELED TBD ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION. DO NOT ADJUST DIMENSIONS WITHOUT ACCEPTANCE OF THE CONSULTANT.
- 28.DRYWALL AND FLOORING CONTRACTOR TO PROTECT EXISTING BUILDING AND CONTENTS, PARTICULARLY CARPETING AND LOBBY AREA DURING ENTIRE CONSTRUCTION PERIOD, POLY TO BE USED WHERE REQUIRED, ELEVATOR FRAME PROTECTED, AND CARPET MATS USED AT ALL ENTRANCES TO CONSTRUCTION AREA DURING ALL PHASES OF CONSTRUCTION. TAPE TO FLOOR TO REDUCE TRIPPING HAZARDS.
- 29.ACOUSTIC BATT INSULATION INSIDE WALL CAVITY TO BE NEW AND TO BE FULL STUD DEPTH.
- 30.BAG ALL WINDOW COVERINGS WHERE REQUIRED, PRIOR TO COMMENCEMENT OF WORK.
- 31.JOB SITE TO BE MAINTAINED IN A NEAT AND TIDY CONDITION AT ALL TIMES. ALL SUBCONTRACTORS TO LEAVE WORK IN SAFE AND CLEAN CONDITION AT END OF EACH DAY'S WORK.
- 32.ALL SUBCONTRACTORS TO LOCATE MATERIALS ON SITE TO CAUSE THE LEAST INTERFERENCE WITH WORK ACTIVITIES AND MINIMUM DISTURBANCE TO OTHER TENANTS.
- 33.ALL SUBCONTRACTORS TO REMOVE ALL DEBRIS RELATED TO THEIR WORK DAILY AND LEAVE ALL SURFACES FREE OF CONSTRUCTION DUST.

## SUBMITTALS

- SUBMIT A SCHEDULE OF SUBMITTALS, ARRANGED IN CHRONOLOGICAL ORDER BY DATES REQUIRED BY FABRICATION OR CONSTRUCTION SCHEDULE. INCLUDE TIME REQUIRED FOR REVIEW, ORDERING, MANUFACTURING, FABRICATION, AND DELIVERY WHEN ESTABLISHING DATES. INCLUDE ADDITIONAL TIME REQUIRED FOR MAKING CORRECTIONS OR REVISIONS TO SUBMITTALS AND ADDITIONAL TIME FOR HANDLING AND REVIEWING SUBMITTALS REQUIRED BY THOSE CORRECTIONS.ALLOW TIME FOR SUBMITTAL REVIEW, INCLUDING TIME FOR RESUBMITTALS. NO EXTENSION OF THE CONTRACT TIME WILL BE AUTHORIZED BECAUSE OF FAILURE TO TRANSMIT SUBMITTALS ENOUGH IN ADVANCE OF THE WORK.
  - PRIOR TO SUBMISSIONS, THE SUB-CONTRACTOR SHALL REVIEW ALL SHOP DRAWINGS. BY THIS REVIEW, THE SUB-CONTRACTOR REPRESENTS THAT HE HAS DETERMINED AND VERIFIED THAT HE HAS CHECKED AND COORDINATED EACH SHOP DRAWINGS WITH THE REQUIREMENTS OF THE WORK AND THE CONTRACT DOCUMENTS, WHICH INCLUDE BUT ARE NOT LIMITED TO QUANTITIES, DIMENSIONS, ACCURACY, COMPETENCE, AND COMPLIANCE WITH LOCAL CODES.
  - SUB-CONTRACTOR IS FULLY RESPONSIBLE TO IDENTIFY DEVIATIONS FROM CONTRACT DOCUMENTS ON SUBMITTALS, AND IDENTIFIES OPTIONS REQUIRING SELECTION. ALL SUBMITTALS SHALL BE SIGNED BY SUB-CONTRACTOR CERTIFYING VERIFICATION OF SITE MEASUREMENT AND COMPLIANCE WITH CONTRACT.
  - SUBMITTALS ARE EXPECTED TO INCLUDE FOLLOWING INFORMATION AS APPLICABLE: PRODUCTS DIMENSIONS, SIZE, QUANTITY, LOCATION, COMPLIANCE WITH SPECIFIED STANDARDS, COORDINATION WITH OTHER TRADES, SEAL AND SIGNATURE OF SUPPORTING PROFESSIONAL ENGINEER IF APPLICABLE.
  - WHERE REQUIRED BY JURISDICTION AND/OR APPLICABLE CODES, SUB-CONTRACTOR SHALL SECURE SERVICES OF CERTIFIED TESTING LABORATORIES, AS REQUIRED TO PERFORM THE WORK, TEST RESULTS AND CERTIFICATIONS SHALL BE IMMEDIATELY FORWARDED TO THE PROJECT MANAGER/CRP/ENGINEER UPON RECEIPT.
  - SUBMIT SAMPLES WHERE REQUIRED FOR REVIEW OF KIND, COLOUR, PATTERN, AND TEXTURE. ATTACH LABEL ON UNEXPOSED SIDE OF SAMPLES THAT INCLUDES : PRODUCT NAME AND NAME OF MANUFACTURER NUMBER AND PRODUCT DESCRIPTION.
  - SUBMIT OPERATION MANUAL INCLUDING INCLUDING PRODUCT NAME AND NUMBER, AND MANUFACTURER'S NAME.
  - SUBMIT MAINTENANCE MANUAL, INCLUDE MANUFACTURER'S RECOMMENDATIONS FOR ROUTINE CLEANING, MAINTENANCE , AND REPAIR INSTRUCTIONS.
  - SUB-CONTRACTOR SHALL IDENTIFY CHANGES WITH REVISION CLOUD IF RESUBMITTING DRAWINGS OR DOCUMENTS FOR SECOND ROUND OF REVIEW.
- GLAZING NOTES
- GLAZING CONTRACTOR TO CONFORM TO CURRENT BUILDING CODE AND BY-LAWS, AND TO CONFORM TO THE SPECIFICATIONS OF THE GLAZING CONTRACTORS ASSOCIATION OF B.C.
  - GLAZING CONTRACTOR HAVE THE DESIGN RESPONSIBILITY TO PROVIDE ALL LETTERS OF ASSURANCE FROM B.C. REGISTERED STRUCTURAL ENGINEER THAT ALL INSTALLATIONS MEET STRUCTURAL SAFETY AND SEISMIC CODES OF THE CURRENT B.C. BUILDING CODE AND LOCAL BY-LAWS.

## DEMOLITION GENERAL NOTES

- ELECTRICAL CONTRACTOR TO ACCOMMODATE FOR RELOCATION OF ALL LIFE SAFETY EQUIPMENT SUCH AS EXIT SIGNS, FIRE ALARM VERIFICATION, EMERGENCY PACKS, ETC. TO ENSURE JOB IS TO CODE AND OBTAIN ALL PERMITS AS REQUIRED.
- MECHANICAL CONTRACTOR TO ACCOMMODATE FOR ALL PLUMBING TERMINATION AS REQUIRED, REMOVE AND RELOCATE EXISTING HVAC SYSTEM, AND OBTAIN ALL PERMITS AS REQUIRED.
- REFER TO MECHANICAL AND ELECTRICAL ENGINEER DRAWINGS FOR ALL MECHANICAL AND ELECTRICAL DEMOLITION.
- ELECTRICAL AND MECHANICAL CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS WITHIN 7 DAYS (1 WEEK) UPON COMPLETION.
- DASHED LINE DENOTES EXISTING INTERIOR PARTITIONS, INTERIOR GLAZING, DOORS AND FRAMES, MILLWORK, PLUMBING, LIGHTING, CEILING TILES, WALL TILES, FLOORING, AND BASE TO BE DEMOLISHED. PATCH AND REPAIR ADJACENT WALLS WHERE DEMOLITION HAS OCCURRED. MAKE READY FOR NEW SPECIFIED FINISH / REFINISH DAMAGED SURFACES TO MATCH ADJACENT FINISHES / OR FOR CONTINUOUS SURFACES REFINISH TO NEAREST INTERSECTION.
- DRYWALL AND FLOORING CONTRACTOR TO PROTECT EXISTING BUILDING AND CONTENTS, ESPECIALLY CARPETING AND LOBBY AREA DURING ENTIRE CONSTRUCTION PERIOD, POLY TO BE USED WHERE REQUIRED, ELEVATOR FRAME PROTECTED, AND CARPET MATS USED AT ALL ENTRANCES TO CONSTRUCTION AREA DURING ALL PHASES OF CONSTRUCTION. TAPE TO FLOOR TO REDUCE TRIPPING HAZARDS.
- DRYWALL CONTRACTOR TO PROVIDE ACCEPTABLE PROTECTIVE PLASTIC BARRIERS AND AIR TIGHT SCREENS TO PREVENT MIGRATION OF DUST AND AIR BORNE CONTAMINANTS INTO OTHER AREAS OF THE PROJECT, BUILDING CORRIDORS, AND BUILDING SYSTEMS. COVER AIR INTAKES OF ALL HVAC UNITS TO ENSURE THEY ARE PROTECTED FROM DUST AND DEBRIS.
- JOB SITE TO BE MAINTAINED IN A NEAT AND TIDY CONDITION AT ALL TIMES. EVERY SUBCONTRACTOR TO BE RESPONSIBLE FOR REMOVAL OF THEIR MATERIALS.
- NO MATERIALS OR TOOLS TO BE STORED IN PUBLIC AREAS.
- SITE AFFECTED TO BE 'HOUSE-CLEANED' EVERY NIGHT.
- DEMOLITION SUBCONTRACTOR IS RESPONSIBLE FOR THE REMOVAL OF ALL DEMOLISHED ITEMS & DEBRIS FROM SITE UNLESS NOTED OTHERWISE, PROVIDE PROJECT MANAGER RELEVANT DOCUMENTATION OF DISPOSAL AND/OR RECYCLING.
- PLASTIC WRAP PROTECTION OVER EXISTING WINDOW TREATMENTS AND MECHANICAL UNITS AS REQUIRED PRIOR FROM START OF DEMOLITION AND CONSTRUCTION.
- ALL WINDOW TREATMENT TO BE REMOVED AT BEGINING OF PROJECT AND REINSTALLED AT END OF CONSTRUCTION FOR FINAL CLEANING.
- THE SUBCONTRACTOR SHALL PROVIDE AND/OR COORDINATE ALL ITEMS REQUIRED TO ADEQUATELY PROTECT PERSONNEL AND ADJACENT PROPERTY/TENANTS AND TO ENSURE SAFETY OF THE PERSONNEL AND THE STRUCTURE THROUGHOUT THE CONSTRUCTION PERIOD. THIS INCLUDES THE PROPER STORAGE AND PLACEMENT OF CONSTRUCTION MATERIALS.
- DISCONNECT ELECTRICAL AND TELEPHONE SERVICE LINES IN WORK TO BE DEMOLISHED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION.
- DISCONNECT AND REMOVE ABANDONED ELECTRICAL DEVICES (OUTLETS, LIGHTING, COMMUNICATION, EXTERIOR ILLUMINATED SIGNAGE, MECHANICAL EQUIPMENT) WHERE IDENTIFIED HEREIN. REMOVE ALL ASSOCIATED WIRING BACK TO COMMUNICATION/SECURITY/ELECTRICAL PANEL.
- ELECTRICAL CONTRACTOR TO UPDATE PANEL SCHEDULE (TYPED DOCUMENT) TO REFLECT ABANDONED CIRCUIT ON SITE.
- FOR EXISTING DEVICES, COORDINATE WITH FINISH PLAN FOR NEW WALL FINISHES ETC. AND RELOCATE/RE-INSTALL EXISTING DEVICES AS REQUIRED TO SUIT NEW PLANS.
- REMOVE ANY REDUNDANT WIRING AND CORRECT ANY NON-COMPLIANT INSTALLATIONS. IN THE CASE OF UNFORESEEN SITE CONDITIONS REGARDING HIDDEN NON-COMPLIANT INSTALLATIONS FROM THE PAST, GENERAL CONTRACTOR TO IMMEDIATELY BRING THE EXTENSION OF WORK TO THE ATTENTION OF THE PROJECT MANAGER AND DESIGNER FOR REVIEW AND TO DETERMINE THE PROCEDURE FOR CORRECTING THE INSTALLATION.
- EXISTING THERMOSTATS, SENSORS, AND OTHER CONTROL DEVICES SHALL BE CAREFULLY REMOVED FROM DEMOLISHED ITEMS WHILE REMAINING CONNECTED TO EXISTING SYSTEMS, SHOULD BE PROTECTED FROM CONSTRUCTION DEBRIS AND BE NEATLY COILED UP AND HUNG FROM CEILING.
- IF HAZARDOUS MATERIALS ARE FOUND ON SITE, REMEDIATION PROTOCOL TO BE FOLLOWED AND DOCUMENTS SIGNED BY AUTHORITY HAVING JURISDICTION.

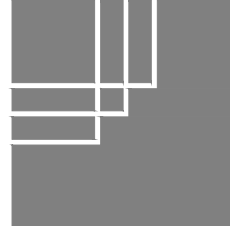
## MECHANICAL GENERAL NOTES

- THE MECHANICAL CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR TO COMPLETE THE MECHANICAL WORK AS DESIGNED AND INCLUDE LETTERS OF SEISMIC ASSURANCE.
- MECHANICAL CONTRACTOR IS RESPONSIBLE TO BALANCE HVAC SYSTEM AT COMPLETION OF CONSTRUCTION. HVAC ADJUSTMENTS TO SUIT NEW PARTITION PLAN, OCCUPANCY AND EQUIPMENT LOADS.

## FIRE STOPPING

- FIRE STOP SYSTEMS SHALL HAVE F RATING NOT LESS THAN WHAT SHOWN IN BELOW TABLE WHEN TESTED PER CAN/ULC-S115.
- REFER TO CODE ANALYSIS ON COVER PAGE FOR THE FIRE RESISTANT RATING OF ASSEMBLIES THAT ARE NOT SHOWN IN CONSTRUCTION DRAWING.

| FIRE-RESISTANT RATING OF FIRE SEPARATION | MINIMUM F RATING OF FIRE STOP |
|------------------------------------------|-------------------------------|
| 45 min                                   | 45 min                        |
| 1 h                                      | 45 min                        |
| 1.5 h                                    | 1 h                           |
| 2 h                                      | 1.5 h                         |



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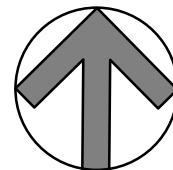


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PROJECT NORTH

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| 1   | DRAWING REVIEW   | 2025.08.22 |
| NO. | REVISIONS        | DATE       |

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PROJECT

## LANDLORD SCOPE OF WORK

SUITE 640, 1111 MELVILLE STREET  
VANCOUVER BC, V6E 2V6

DRAWING TITLE

## GENERAL NOTES

|              |          |           |           |
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| PROJECT NO.: | SCALE:   | DRAWN BY: | CHECK BY: |
| 25-068       | AS NOTED | SC        | TBD       |

DRAWING NO.

ID0.01



# ISSUED FOR BUILDING PERMIT / TENDER / CONSTRUCTION

## CONSTRUCTION NOTES

### STEEL STUD AND DRYWALL

- ALL DIMENSIONS ARE TO CENTERLINE OF NEW PARTITION EXCEPT WHERE DIMENSIONS HAVE BEEN TAKEN FROM EXISTING BASE BUILDING OR WHERE A MINIMUM CLEARANCE IS REQUIRED. DIMENSIONS LABELED TBD ARE TO BE CONFIRMED PRIOR TO CONSTRUCTION. DO NOT ADJUST DIMENSIONS WITHOUT ACCEPTANCE OF THE CONSULTANT.
- DESIGNER TO APPROVE LAYOUT OF CHALK LINES PRIOR TO STEEL STUD WORK.
- ALL PARTITIONS TO BE CENTERED ON T-BAR CEILING GRID UNLESS OTHERWISE NOTED.
- STEEL STUD AND GWB WORK TO CONFORM TO AWCC OF BC STANDARDS UNLESS OTHERWISE NOTED.
- DRYWALL CONTRACTOR TO PROVIDE SEISMIC BRACING OF ALL INTERIOR PARTITIONS TO UNDERSIDE OF FLOOR STRUCTURE, SUSPENDED CEILINGS, BULKHEAD, AND DOORS AS REQUIRED BY CURRENT BUILDING CODE AND LOCAL BY-LAW. PROVIDE LETTERS OF ASSURANCE TO THE PROJECT MANAGER.
- DRYWALL SUBCONTRACTOR IS RESPONSIBLE TO COORDINATE AND PROVIDE BLOCKING (METAL AND/OR WOOD) FOR ALL WALL MOUNTED AND CEILING MOUNTED ITEMS. DRYWALL SUBCONTRACTOR TO BE RESPONSIBLE FOR PONY WALLS.
- ALL GYPSUM WALL BOARD (GWB) TO BE LEVEL 4 FINISH FOR ALL REGULAR WALLS, AND LEVEL 5 FINISH FOR ALL FEATURE WALLS AND WALLS THAT MAY REQUIRE WALL VINYL OR WRITABLE SURFACE WALL FINISH TO EXTEND TO FLOOR STRUCTURE APPLICATIONS. FINISH AS NOTED ON DRAWINGS.
- ALL PARTITIONS AFFECTED WHERE CONSTRUCTION OCCURRED ARE TO BE PATCHED, TAPPED, SANDED, OR SEALED & PRIMED READY TO RECEIVE NEW FINISH
- DRYWALL/T-BAR CONTRACTOR TO ENSURE TOP TRACK OF PARTITIONS ARE TO BE CLIPPED AND NOT SCREWED TO THE T-BAR GRID.
- DRYWALL/T-BAR CONTRACTOR TO PROVIDE CONTINUOUS FOAM TAPE AT TOP TRACK TO ENSURE PROPER SOUND INSULATION. DO NOT ADHERE TO T-BAR GRID - FRICTION FIT REVOE CLIPS ONLY.
- DRYWALL CONTRACTOR TO ENSURE SOUND TIGHT CONSTRUCTION TO ALL BUILDING COMPONENTS AND INTERSECTIONS WITH AIR SUPPLY SLOTS, MULLIONS, AND CONVECTION UNITS TO BASE BUILDING GUIDELINES.
- REFINISH DAMAGED SURFACES TO MATCH ADJACENT FINISHES. FOR CONTINUOUS SURFACES REFINISH TO NEAREST INTERSECTION
- DRYWALL CONTRACTOR TO SUPPLY AND INSTALL ONE 3/4" THICK PLYWOOD COMMUNICATIONS PANEL IN SERVER ROOM. PLYWOOD TO BE FIRE TREATED AND HAVE VISIBLE LABELS MAINTAINED. BOARD TO BE 48"X96" HIGH TO BE MOUNTED AT 12" A.F.F. TO U/S OF BOARD. PROVIDE SEPARATE CIRCUIT OUTLET AND DATA AT LOCATION INDICATED. BOARD TO BE PAINTED BY PAINT CONTRACTOR TO MATCH WALL COLOUR.

### RCP GENERAL NOTES

- ELECTRICAL CONTRACTOR TO ACCOMMODATE FOR ALL LIFE SAFETY EQUIPMENT TO ENSURE PROJECT IS TO CODE. ALLOW FOR EXIT SIGNS, EMERGENCY PACKS, FIRE ALARM VERIFICATION AND RELOCATION IF REQUIRED. REVIEW DRAWINGS WITH DESIGNER AND PROJECT MANAGER FOR APPROVAL. ELECTRICAL CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOUR TO COMPLETE THE ELECTRICAL WORK AS DESIGNED.
- THE MECHANICAL CONTRACTOR SHALL PROVIDE ALL MATERIALS AND LABOR TO COMPLETE THE MECHANICAL WORK AS DESIGNED AND INCLUDE LETTERS OF SEISMIC ASSURANCE.
- ELECTRICAL CONTRACTOR TO RELOCATE AND LOCATE EXISTING LIGHTS, EMERGENCY LIGHTING AS REQUIRED BY LOCAL BUILDING BYLAWS AND FIRE CODE. ALLOW FOR SEISMIC BRACING.
- ELECTRICAL AND MECHANICAL CONTRACTORS ARE TO EXAMINE SITE AND EXISTING CONDITIONS PRIOR TO BIDDING.
- ELECTRICAL CONTRACTOR TO PROVIDE INTERIOR DESIGNER WITH CONFIRMATION OF ALL EXIT SIGN LOCATIONS, EMERGENCY LIGHTS, CABLE TRAY RUNS, CONDUIT PLACEMENT, ETC.
- ARCHITECTURAL AND INTERIOR DESIGN DETAILS TO TAKE PRECEDENCE OVER LIGHTING, AND LIGHTING TO TAKE PRECEDENCE OVER MECHANICAL FOR REFLECTIVE CEILING PLAN WORK EXCEPT FOR LIFE SAFETY FIXTURES.
- ALL SUBCONTRACTORS TO REFER TO FINISHES SCHEDULE ON ID# FOR CEILING FINISHES SPECIFICATIONS.
- ELECTRICAL CONTRACTOR TO DETERMINE SUFFICIENT LIGHTING LEVELS. PROJECT MANAGER TO REVIEW SCHEMATIC PLANS, LIGHTING ZONES, AND SWITCHING WITH CLIENT PRIOR TO INSTALLATION.
- ELECTRICAL CONTRACTOR TO SUPPLY AND INSTALL NEW LIGHT FIXTURES AS SHOWN ON RCP. ELECTRICAL CONTRACTOR TO SITE VERIFY EXISTING FLUORESCENT LIGHT FIXTURE LOCATIONS.

### ELECTRICAL GENERAL NOTES

- ELECTRICAL CONTRACTOR TO ACCOMMODATE FOR ALL LIFE SAFETY EQUIPMENT TO ENSURE PROJECT IS TO CODE. ALLOW FOR EXIT SIGNS, EMERGENCY PACKS, FIRE ALARM VERIFICATION AND RELOCATION IF REQUIRED. REVIEW DRAWINGS WITH DESIGNER AND PROJECT MANAGER FOR APPROVAL.
- ELECTRICAL CONTRACTOR TO EXAMINE SITE AND EXISTING CONDITIONS PRIOR TO BIDDING.
- ALL EXISTING POWER & DATA OUTLETS LOCATED IN WALLS TO REMAIN ARE TO STAY AS-IS (NOT SHOWN ON PLAN). LOCATIONS TO BE VERIFIED ON SITE.
- ALL EXISTING AND NEW COMMUNICATION TO BE RELABELLED AND VERIFIED.
- ALL POWER, TELEPHONE AND DATA OUTLETS TO BE GANGED ON ONE STUD OR HORIZONTAL BAR WHEN THEY ARE INDICATED IN CLOSE PROXIMITY; USE COMBINATION FACEPLATES WHERE POSSIBLE.
- SWITCHES THAT ARE LOCATED IN CLOSE PROXIMITY TO BE GANGED TOGETHER AND MULTI-FACE PLATES USED WHERE POSSIBLE.
- DO NOT MOUNT WALL OUTLETS BACK TO BACK; STAGGER TO PREVENT SOUND TRANSFER.

### ELECTRICAL & MECHANICAL

- ELECTRICAL AND MECHANICAL CONTRACTORS ARE RESPONSIBLE TO PROVIDE ALL REQUIRED ALTERATIONS OR PENETRATIONS (CORING) THROUGH EXISTING SLABS, DECKS, STEEL BEAMS AND/OR WALLS AND FIRE STOPPING.
- ELECTRICAL & MECHANICAL CONTRACTORS TO SCAN, XRAY, CORE FOR ALL SLAB PENETRATIONS THAT ARE REQUIRED AND CONFIRM SLAB PENETRATIONS LOCATIONS WITH THE LANDLORD & LANDLORD'S STRUCTURAL ENGINEER PRIOR TO ANY CORING OR CUTTING OF SLAB. RECORD LOCATION OF CUTTING AND CORING ON AS BUILT DRAWINGS. INCLUDE ALL COSTS RELATED TO AFOREMENTIONED WORK INTO CONTRACT PRICE.
- ELECTRICAL AND MECHANICAL CONTRACTORS ARE TO REVIEW THE MECHANICAL & ELECTRICAL ENGINEER DRAWINGS FOR ACTUAL CONSTRUCTION AND RELOCATION OF MECHANICAL AND ELECTRICAL COMPONENTS, I.E. EXIT SIGNS, LIGHTING, DIFFUSERS, SPRINKLERS, ETC. DRAWINGS TO BE READ IN CONJUNCTION WITH THE INTERIOR DESIGN DRAWINGS, AS WELL AS THOSE OF OTHER CONSULTANT DRAWINGS TO ENSURE THERE ARE NO CONFLICTS OR DISCREPANCIES. ANY DISCREPANCIES OR OMISSIONS ARE TO BE REPORTED TO THE PROJECT MANAGER PRIOR TO CLOSE OFF TENDER.
- ELECTRICAL AND MECHANICAL CONTRACTOR TO PROVIDE DIGITAL (AUTOCAD) AS-BUILT DRAWINGS UPON COMPLETION.

### PAINTING

- USE APPROPRIATE PAINT TYPES FOR MATERIAL TYPE APPLICATIONS.
- ALL SURFACES REQUIRING PAINTING AND REPAINTING SHALL BE INSPECTED AND APPROVED BY THE PAINTING SUBCONTRACTOR. ONCE THE PAINTING CONTRACTOR PROCEEDS TO PAINT ANY SURFACE, THEY ARE ACCEPTING THE SURFACE AS READY TO PAINT AND ARE RESPONSIBLE IF THE PAINTING IS REJECTED.
- ALL PAINTED SURFACES ARE TO BE LEVEL 4 FINISH FOR ALL REGULAR WALLS, AND LEVEL 5 FINISH FOR ALL FEATURE PAINTED WALLS. PAINT CONTRACTOR TO ENSURE GWB SURFACE SHALL BE SEALED. RECEIVE MINIMUM OF ONE (1) COAT PRIMER AND TWO (2) TOP COATS OF PAINT OR MORE IF REQUIRED. FOUR (4) FINISHED COATS IF IT IS A DARK COLOUR; THIS INCLUDES PARTITIONS, BULKHEADS, CEILING, AND ALL FURRED OUT AREAS EXPOSED TO VIEW. SAND LIGHTLY BETWEEN COATS.
- ALL PAINT AND WALL COVERING FINISHES TO CONFORM TO THE MASTER PAINTERS INSTITUTE ARCHITECTURAL PAINTING SPECIFICATION MANUAL, CURRENT EDITION, FOR INTERIOR FINISHES.
- PAINT CONTRACTOR TO CAULK ALL DOOR FRAMES, BASE BOARDS, AND ALL OTHER AREAS REQUIRED FOR A PROFESSIONAL PAINT FINISH.
- ALL EXISTING PAINT GRADE DOORS AND FRAMES TO BE PAINTED ARE TO BE CLEANED AND SANDED PRIOR TO RE-PAINTING. MASK OFF ALL DOOR HINGES, LATCHES, LOCKS, ETC. PRIOR TO PAINTING. ALL RATED DOOR AND FRAME LABELS TO BE LEFT FREE OF FINISHES. DO NOT COVER OFFICIAL LABELS.
- PAINT CONTRACTOR TO PAINT ALL NEW AND RE-USED ACCESS PANELS TO MATCH SURROUNDING FINISH.
- PAINT CONTRACTOR TO ALLOW FOR PAINT TOUCH-UPS AS REQUIRED TO COMPLETE WORK.

### FLOORING

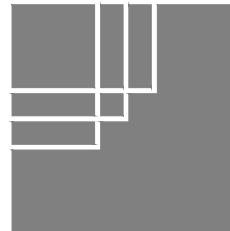
- FLOORING CONTRACTOR TO ENSURE SUPPLY & INSTALL OF METAL TRANSITION STRIPS FOR ALL FLOORING CHANGES AS REQUIRED UNLESS SPECIFIED OTHERWISE.
- ALL RUBBER BASE TO BE 4" HEIGHT MIN. 4 1/2" IN HEIGHT IF PREVIOUS BASE WAS 4" HIGH. NEW BASE TO BE OF ADEQUATE HEIGHT TO COVER PREVIOUS BASE LINE.
- LINE OF ADJOINING FLOOR FINISHES TO BE LOCATED DIRECTLY UNDER DOOR WHERE APPLICABLE.
- FLOORING SUBCONTRACTOR SHALL BE RESPONSIBLE FOR PATCHING, REPAIR, FILLING, FEATHERING AND SWEEPING OF EXISTING SUB-FLOOR AS NECESSARY TO MAKE GOOD & LEVEL TO RECEIVE NEW FINISHES. ENSURE NO TELEGRAPHING THROUGH TO NEW FLOOR.
- FLOORING CONTRACTOR TO SLOPE ALL FLOORS TOWARDS FLOOR DRAINS WHERE APPLICABLE.
- FLOORING CONTRACTOR TO SEAL ALL FLOOR SURFACES AS PER MANUFACTURER'S SPECIFICATIONS. CAULK BETWEEN FLOORING AND BASEBOARDS. CARPET TILE INSTALLATION AS PER MANUFACTURER'S RECOMMENDED PRACTICE. ALLOW FOR 2% EXTRA FLOOR STOCK ON ALL SUPPLIED MATERIALS UNLESS SPECIFIED OTHERWISE.
- FLOOR TILE INSTALLATION TO CONFORM TO THE MOST CURRENT STANDARDS OF THE AUTHORITY HAVING JURISDICTION.
- FLOORING CONTRACTOR TO ENSURE SMOOTH & LEVEL FLOOR TRANSITIONS BETWEEN ALL FLOORING CHANGES. SLOPE FLOOR AT TRANSITION STRIP IF REQUIRED.

### FINISHES GENERAL NOTES

- ALL SUBSTITUTES & ALTERNATES MUST BE SUBMITTED TO AND REVIEWED BY THE PROJECT MANAGER AND DESIGNER PRIOR TO TENDER CLOSING OR ORDERING.
- ALL SUBCONTRACTORS ARE TO SUBMIT THREE (3) ACTUAL SAMPLES OF ALL FINISHES REQUIRED IN THE PROJECT. DO NOT PROCEED WITH FABRICATION, MANUFACTURE, APPLICATION, ORDERING OR CONSTRUCTION PRIOR TO REVIEW AND WRITTEN APPROVAL BY THE PROJECT MANAGER OR DESIGNER.
- ALL RUBBER BASE TO BE 4" HEIGHT MIN. 4 1/2" IN HEIGHT IF PREVIOUS BASE WAS 4" HIGH. NEW BASE TO BE OF ADEQUATE HEIGHT TO COVER PREVIOUS BASE LINE.
- ALL SUBCONTRACTORS TO FOLLOW BUILDING STANDARDS WHERE BASE BUILDING MECHANICAL & ELECTRICAL COMPONENTS REQUIRE FINISHING. EXCEPT NEW AND EXISTING SWITCH PLATES AND BLANK PLATES ARE TO BE DECORA WHITE.

### MILLWORK GENERAL NOTES

- ALL MILLWORK TO BE PER DIMENSIONED SPECIFIED DRAWINGS AND FIELD VERIFIED PRIOR TO FABRICATION. FINISH SAMPLES AND SHOP DRAWINGS TO BE SUBMITTED TO PROJECT MANAGER AND DESIGNER FOR REVIEW AND APPROVAL.
- ALL MILLWORK FINISH MATERIALS, GRADING RULES, MACHINING AND WORKMANSHIP TO CONFORM TO THE STANDARDS OF THE ARCHITECTURAL WOODWORKS MANUFACTURING ASSOCIATION OF CANADA AND BACKED BY MILLWORKS MANUFACTURING OF B.C. FOR CUSTOM GRADE. WORK SHALL BE PERFORMED BY A QUALIFIED AND RECOGNIZED MILLWORK COMPANY.
- MILLWORK IS NOT TO BE DELIVERED TO THE JOBSITE UNTIL PREMISE IS IN PROPER CONDITION TO RECEIVE THE ITEM UNLESS DIRECTED OTHERWISE BY THE PROJECT MANAGER. PROPER ARRANGEMENTS MUST BE MADE TO HANDLE, STORE, AND PROTECT THE WORK. WORK SHALL BE GUARANTEED FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE DATE OF INSTALLATION INCLUDING WORKMANSHIP, MATERIALS, AND INSTALLATION.
- MILLWORK CONTRACTOR TO HAVE APPROPRIATE AND EFFECTIVE DUST CONTROL EQUIPMENT ON ALL TOOLS TO INSTALL MILLWORK AND ASSOCIATED ACTIVITIES.
- ALL SUBCONTRACTORS TO REMOVE ALL DEBRIS RELATED TO THEIR WORK DAILY AND LEAVE ALL SURFACES FREE OF CONSTRUCTION DUST.



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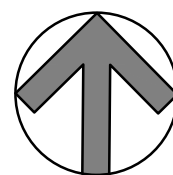


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PROJECT NORTH

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PROJECT

## LANDLORD SCOPE OF WORK

SUITE 640, 1111 MELVILLE STREET  
VANCOUVER BC. V6E 2V6

DRAWING TITLE

## GENERAL NOTES

|              |          |           |           |
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PROJECT

## LANDLORD SCOPE OF WORK

SUITE 640, 1111 MELVILLE STREET  
VANCOUVER BC, V6E 2V6

DRAWING TITLE

## DOOR SCHEDULE

PROJECT NO.:

25-068

SCALE:

AS NOTED

CHECK BY \_\_\_\_\_

TBD

DRAWING NO.

ID1.01

[illegible]

GL GLASS (12mm)  
SWC SOLID WOOD CORE  
P# PAINT FINISH #

1. ALL LOCKING DOORS TO BE UNOBSTRUCTED IN DIRECTION OF EGRESS.
2. ALL DOORS WITH CARD READER SHALL RELEASE FOR EMERGENCY EXITING.
3. ALLOW A CLEAR SPACE OF 52" X 32" CENTERED IN FRONT OF CARD READER FOR ACCESSIBILITY.

DUMMY LEVER SET:  
DOOR STOP:  
DOOR GRILLE:  
DOUBLE ROLLER CATCH:

SERGEANT 7 LINE CYLINDRICAL LEVER, B DESIGN, STAIN NICKEL

SCHLAGE, MODEL #436-619, SATIN NICKEL

10 1/2" H X 20 1/2 " W IN ROUGH OPENING ANODIZED ALUMINUM DOOR GRILLE (X2)

RICHELIEU HARDWARE DOUBLE ROLLER CATCH WITH DIAMOND STRIKE

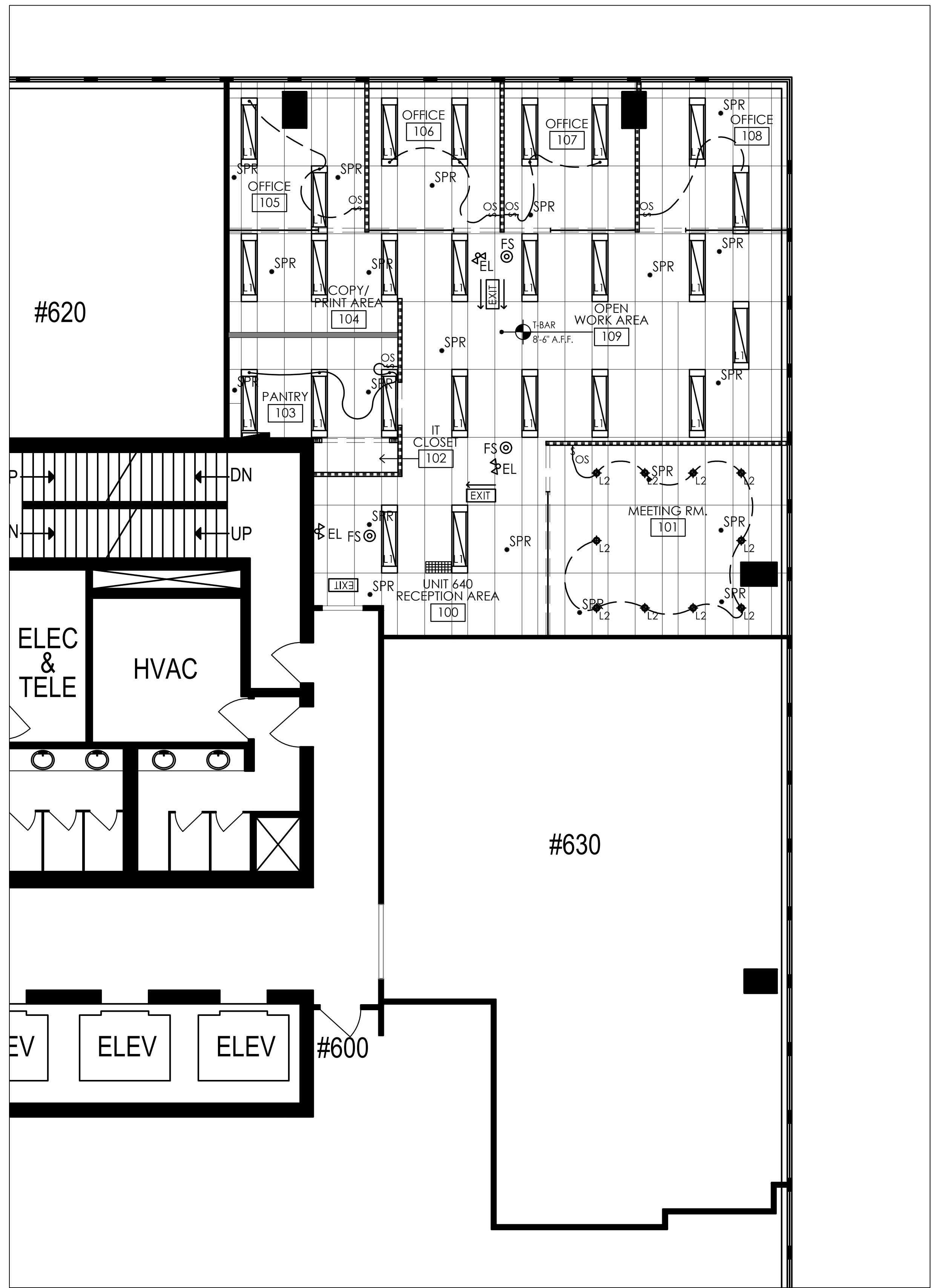


|                                                                                                                                                                                  |                                                                                                                   |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------|
| <p>TYPE A1</p>  <p>ELEVATION OF EXPOSED TRACK - CLOSED POSITION<br/>(see technical notes)</p> | <p>TYPE A3</p>                 |
| <p>TYPE A2</p>  <p>TYPE A2</p>                                                                | <p>TYPE A4</p>  <p>TYPE A4</p> |



Scale:  $3/8" = 1'-0"$





1 REFLECTED CEILING PLAN  
Scale: 3/16" = 1'-0"

RCP SYMBOL LEGEND

- NEW LED TROFFER FIXTURE TO MATCH BASE BUILDING STANDARD. EW-12-48-22W-WE-32L-CT35-D-347-111
- NEW POT LIGHT: 3.125" DIA. ED AR+ 12W-LED-120V-DL-NC-FL-09-35K 3500K, DIMMABLE
- NEW WALL MOUNTED OCCUPANCY/VACANCY SENSOR SWITCH.
- EXISTING T-BAR 18" X 60" X 5/8" C/W NEW LAY IN CEILING TILE PER LANDLORD SPECIFICATION
- T-BAR CEILING HEIGHT IDENTIFICATION
- EXISTING RUNNING MAN EXIT SIGNS C/W DIRECTIONAL ARROWS AS REQUIRED.
- RELOCATED EMERGENCY LIGHT
- RELOCATED FIRE ALARM C/W STROBE LIGHT
- EXISTING SPRINKLER LOCATION FOR INFORMATION ONLY

RCP KEY NOTES

- ALL OPEN AREAS, STAFF PANTRY & CLOSETS TO HAVE NEW CEILING MOUNTED OCCUPANCY SENSOR SWITCHING. (TYP.)
- BOARDROOM / MEETING RM & OFFICES TO HAVE NEW WALL MOUNTED OCCUPANCY SENSOR SWITCH. (TYP.)
- MECHANICAL TRADE TO CREATE NEW HVAC ZONES C/W SUPPLY & RETURN AIR. BALANCE SYSTEM AT THE END OF THE PROJECT. (TYP.)
- MECHANICAL TRADE / SPRINKLERS, TO RELOCATE SPRINKLER LOCATIONS AS REQUIRED FOR PROPER COVERAGE AND CODE COMPLIANCE. (TYP.)
- EXISTING MECHANICAL SUPPLY & RETURN AIR GRILLES. MECHANICAL TRADE TO RELOCATE AS REQUIRED. (TYP.)

ALL ALTERATIONS TO FOLLOW VANCOUVER BUILDING BYLAW 2019.  
ELECTRICAL DESIGN:

|                           |                                               |
|---------------------------|-----------------------------------------------|
| ENERGY STANDARD / CODE:   | ASHRAE 90.1-2016                              |
| POWER COMPLIANCE PATH:    | PRESCRIPTIVE                                  |
| IN ACCORDANCE WITH:       | 8.1.5 ALTS TO EB - EXCEPTION                  |
| LIGHTING COMPLIANCE PATH: | PRESCRIPTIVE                                  |
| LIGHTING DESIGN METHOD:   | SPACE-BY-SPACE METHOD OR BUILDING AREA METHOD |
| IN ACCORDANCE WITH:       | 9.1.1 LIGHTING ALTERATIONS                    |
| OTHER EQUIPMENT PATH:     | N/A (NO OTHER EQUIP WORK)                     |
| IN ACCORDANCE WITH:       | N/A                                           |

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PROJECT NORTH

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PROJECT

LANDLORD SCOPE OF WORK

SUITE 640, 1111 MELVILLE STREET  
VANCOUVER BC. V6E 2V6

DRAWING TITLE

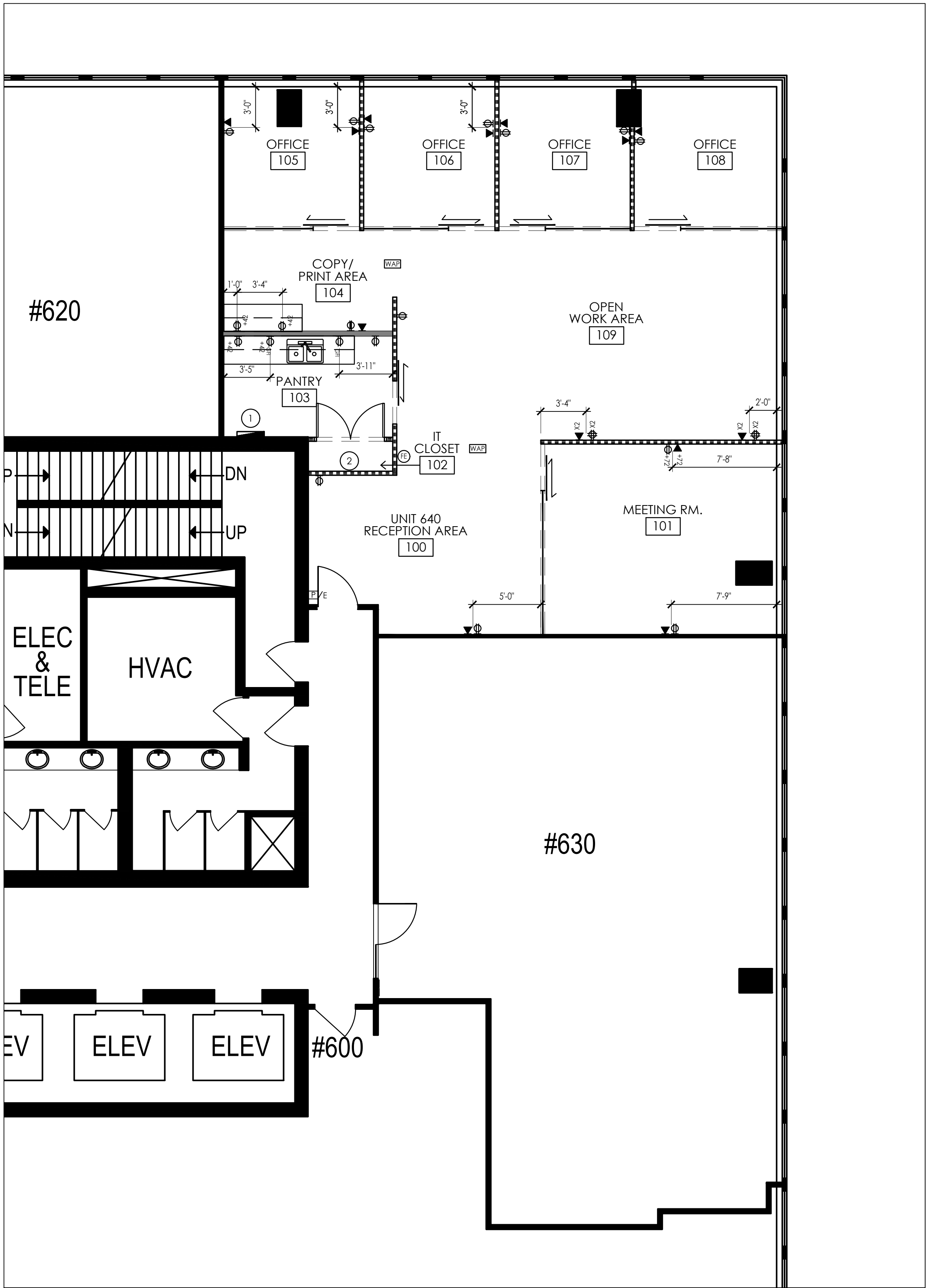
REFLECTED CEILING PLAN

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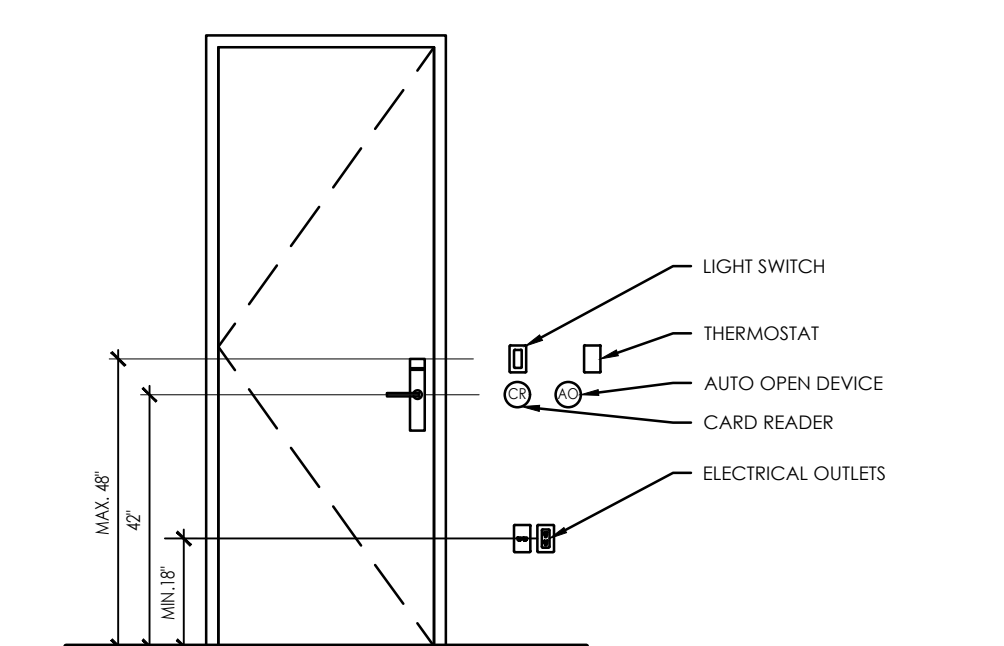
1 POWER & DATA PLAN  
Scale: 3/16" = 1'-0"

SYMBOL LEGEND

- NEW DUPLEX RECEPTACLE
- NEW DEDICATED 20AMP DUPLEX RECEPTACLE
- NEW QUADPLEX RECEPTACLE
- NEW DATA (CAT 6)
- GROUND FAULT INTERCEPTOR
- NEW FIRE EXTINGUISHER
- WIRELESS ACCESS POINT BY CLIENT VENDOR

ELECTRICAL KEY NOTES

- EXISTING ELECTRICAL PANEL
- TRADE TO COIL DATA LINES ABOVE T-BAR FOR FUTURE TENANT SERVER RACK & INSTALLATION.
- ELECTRICAL TRADE TO PROVIDE THE FOLLOWING PRICING OPTIONS FOR THE POWER & DATA:
  - SUPPLY & INSTALL 1 DATA & 1 DUPLEX RECEPTACLE PER DRAWINGS.
  - SUPPLY & INSTALL 2 DATA & QUADPLEX FOR EACH DESK LOCATION AS OPTION 2.
  - PROVIDE SEPARATE QUOTE TO SUPPLY & INSTALL WIRELESS ACCESS POINT WITHIN CEILING PER DRAWINGS.



ACCESSIBLE MOUNTING HEIGHT

ELECTRICAL OUTLETS THAT ARE DEDICATED FOR SPECIFIC EQUIPMENT OR FUNCTIONS NEED NOT TO CONFORM.

ALL ALTERATIONS TO FOLLOW VANCOUVER BUILDING BYLAW 2019 WITH AMENDMENTS. ELECTRICAL DESIGN:

|                           |                              |
|---------------------------|------------------------------|
| ENERGY STANDARD / CODE:   | ASHRAE 90.1-2016             |
| POWER COMPLIANCE PATH:    | PRESCRIPTIVE                 |
| IN ACCORDANCE WITH:       | 8.1.5 ALTS TO EB - EXCEPTION |
| LIGHTING COMPLIANCE PATH: | PRESCRIPTIVE                 |
| LIGHTING DESIGN METHOD:   | SPACE-BY-SPACE METHOD        |
| IN ACCORDANCE WITH:       | 9.1.2 LIGHTING ALTERATIONS   |
| OTHER EQUIPMENT PATH:     | N/A (NO OTHER EQUIP WORK)    |
| IN ACCORDANCE WITH:       | N/A                          |

**FUSION PROJECTS**

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FUSION PROJECT MANAGEMENT LTD.  
800 - 850 WEST HASTINGS STREET,  
VANCOUVER, BC

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CONSULTANT

PROJECT NORTH

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| 2   | ISSUE FOR PERMIT | 2025.08.xx |
| 1   | DRAWING REVIEW   | 2025.08.22 |
| NO. | REVISIONS        | DATE       |

SUPERCEDES ALL PRINTS BEARING PREVIOUS REVISION NUMBER.

PROJECT

**LANDLORD SCOPE OF WORK**

SUITE 640, 1111 MELVILLE STREET  
VANCOUVER BC, V6E 2V6

DRAWING TITLE

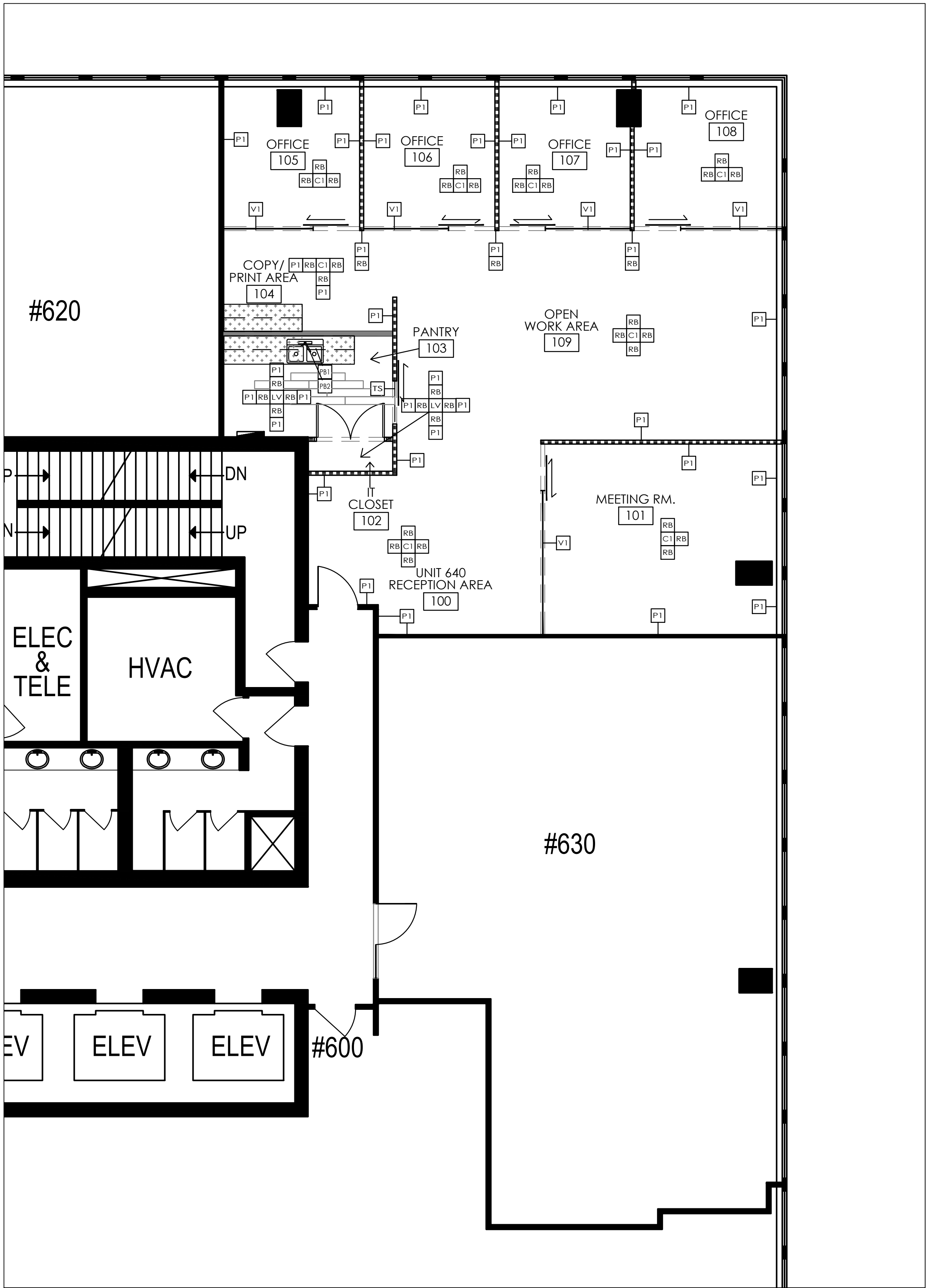
**POWER & DATA PLAN**

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| PROJECT NO.: | SCALE:   | DRAWN BY: | CHECK BY: |
| 25-068       | AS NOTED | SC        | TBD       |

DRAWING NO.

**ID1.03**





1 FINISH PLAN  
Scale: 3/16" = 1'-0"

SYMBOL LEGEND

- P#—PLUMBING EQUIPMENT
- C#—FIELD CARPET
- LV—LUXURY VINYL TILE
- RB—RUBBER BASE
- P#—PAINT
- V#—VINYL FILM
- TS—TRANSITION

FINISH SCHEDULE

- C1—NEW CARPET: T.B.D.  
PROVIDE FUSION PM WITH 2 SAMPLES FOR APPROVAL
- LV—NEW LUXURY VINYL TILE: T.B.D.  
PROVIDE FUSION PM WITH 2 SAMPLES FOR APPROVAL
- P1—PAINT ALL SUITE WALLS & CONVECTION UNITS  
SHERWIN WILLIAMS SW7011 NATURAL CHOICE. EGGSHLL FINISH. PROVIDE FUSION PM WITH 2 SAMPLES FOR APPROVAL
- RB—NEW RUBBER BASE - T.B.D.
- V1—2" VINYL FILM STRIP INSTALLED ON ALL NEW GLAZING AND GLASS SLIDING DOORS AT 60" FROM FLOOR.  
PROVIDE FUSION PM WITH 2 SAMPLES FOR APPROVAL
- PB1—NEW KITCHEN SINK - BRISTOL STAINLESS STEEL 31", 1 HOLE DROP IN SINK. MODEL B211 HOME DEPOT SKU# 1001852687
- PB2—NEW KITCHEN FAUCET - PFISTER MAXIMILLION 1 HANDLE POLISHED CHROME PULL OUT / PULL DOWN FAUCET.  
MODEL #F5297MXIC HOME DEPOT STORE SKU#1001907601

MILLWORK

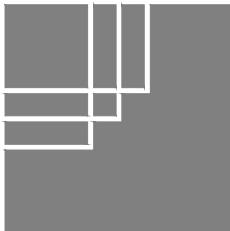
- MILLWORK TO BE DESIGNED, SUPPLIED & INSTALLED BY OTHERS.

WINDOW COVERINGS

EXISTING ROLLER BLINDS TO REMAIN. FUSION TO ENSURE PROTECTION FROM DUST.

FINISHES KEY NOTES

- 1 APPLIANCES TO BE SUPPLIED & INSTALLED BY OTHERS. (TYP.)
- 2 ALL PERIMETER CONCRETE WALLS TO BE ADEQUATLY CLEANED, SANDED & PATCHED IN ORDER TO RECEIVE NEW PAINT FINISH. (TYP.)
- 3 ALL PERIMETER CONVECTION UNITS TO BE ELECTROSTATICALLY PAINTED. (TYP.)
- 4 MITER INSIDE & OUTSIDE CORNERS OF RUBBER BASE. GAPS AT JOINT LOCATIONS WILL NOT BE ACCEPTED. (TYP.)
- 5 ALL COLUMNS TO BE PAINTED. P1. PAINTING CONTRACTOR TO FILL SAND & PATCH ALL COLUMNS IN PEPARATION FOR NEW FINISH. (TYP.)



**FUSION  
PROJECTS**

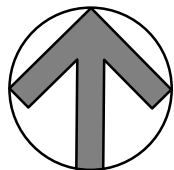


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VANCOUVER, BC

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PROJECT NORTH

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PROJECT

**LANDLORD SCOPE  
OF WORK**

SUITE 640, 1111 MELVILLE STREET  
VANCOUVER BC. V6E 2V6

DRAWING TITLE

**FINISHES PLAN**

|              |          |           |           |
|--------------|----------|-----------|-----------|
| PROJECT NO.: | SCALE:   | DRAWN BY: | CHECK BY: |
| 25-068       | AS NOTED | SC        | TBD       |

DRAWING NO.

ID1.04